

Triumph Gulf Coast, Inc. Trust Fund Application for Funds

Proposal Instructions: The Triumph Gulf Coast, Inc. Trust Fund Grant Application (this document) must be completed by the entity applying for the grant and signed, as applicable, by either the individual applying for funds, an individual authorized to bind the entity applying for funds, a chief elected official, the administrator for the governmental entity or their designee. Please read the Application carefully as some questions may require a separate narrative to be completed. In addition, please complete all Addendums that may be applicable to the proposed project or program.

Triumph Gulf Coast, Inc. will make awards from available funds to projects or programs that meet the priorities for economic recovery, diversification, and enhancement of the disproportionately affected counties. Triumph Gulf Coast, Inc. may make awards for:

- Ad valorem tax rate reduction within disproportionately affected counties;
- Local match requirements of s. 288.0655 for projects in the disproportionately affected counties;
- Public infrastructure projects for construction, expansion, or maintenance which are shown to enhance economic recovery, diversification, and enhancement of the disproportionately affected counties;
- Grants to local governments in the disproportionately affected counties to establish and maintain equipment and trained personnel for local action plans of response to respond to disasters, such as plans created for the Coastal Impacts Assistance Program;
- Grants to support programs that prepare students for future occupations and careers at K-20 institutions that have campuses in the disproportionately affected counties. Eligible programs include those that increase students' technology skills and knowledge; encourage industry certifications; provide rigorous, alternative pathways for students to meet high school graduation requirements; strengthen career readiness initiatives; fund high-demand programs of emphasis at the bachelor's and master's level designated by the Board of Governors; and, similar to or the same as talent retention programs created by the Chancellor of the State University System and the Commission of Education; encourage students with interest or aptitude for science, technology, engineering, mathematics, and medical disciplines to pursue postsecondary education at a state university or a Florida College System institution within the disproportionately affected counties;
- Grants to support programs that provide participants in the disproportionately affected counties with transferable, sustainable workforce skills that are not confined to a single employer; and
- Grants to the tourism entity created under s. 288.1226 for the purpose of advertising and promoting tourism and Fresh From Florida, and grants to promote workforce and infrastructure, on behalf of all of the disproportionately affected counties.

Pursuant to Florida Law, Triumph Gulf Coast, Inc. will provide priority consideration to Applications for projects or programs that:

- Generate maximum estimated economic benefits, based on tools and models not generally employed by economic input-output analyses, including cost-benefit, return-on-investment, or dynamic scoring techniques to determine how the long-term economic growth potential of the disproportionately affected counties may be enhanced by the investment.
- Increase household income in the disproportionately affected counties above national average household income.
- Leverage or further enhance key regional assets, including educational institutions, research facilities, and military bases.
- Partner with local governments to provide funds, infrastructure, land, or other assistance for the project.
- Benefit the environment, in addition to the economy.
- Provide outcome measures.
- Partner with K-20 educational institutions or school districts located within the disproportionately affected counties as of January 1, 2017.
- Are recommended by the board of county commissioners of the county in which the project or program will be located.
- Partner with convention and visitor bureaus, tourist development councils, or chambers of commerce located within the disproportionately affected counties.

Additionally, the Board of Triumph Gulf Coast, Inc. may provide discretionary priority to consideration of Applications for projects and programs that:

- Are considered transformational for the future of the Northwest Florida region.
- May be consummated quickly and efficiently.
- Promote net-new jobs in the private sector with an income above regional average household income.
- Align with Northwest Florida FORWARD, the regional strategic initiative for Northwest Florida economic transformation.
- Create net-new jobs in targeted industries to include: aerospace and defense, financial services/shared services, water transportation, artificial intelligence, cybersecurity, information technology, manufacturing, and robotics.
- Promote industry cluster impact for unique targeted industries.
- Create net-new jobs with wages above national average wage (*e.g.*, similar to EFI QTI program, measured on graduated scale).
- Are located in Rural Area of Opportunity as defined by the State of Florida (DEO).
- Provide a wider regional impact versus solely local impact.
- Align with other similar programs across the regions for greater regional impact, and not be duplicative of other existing projects or programs.
- Enhance research and innovative technologies in the region.
- Enhance a targeted industry cluster or create a Center of Excellence unique to Northwest Florida.

- Create a unique asset in the region that can be leveraged for regional growth of targeted industries.
- Demonstrate long-term financial sustainability following Triumph Gulf Coast, Inc. funding.
- Leverage funding from other government and private entity sources.
- Provide local investment and spending.
- Are supported by more than one governmental entity and/or private sector companies, in particular proposed projects or programs supported by more than one county in the region.
- Provide clear performance metrics over duration of project or program.
- Include deliverables-based payment system dependent upon achievement of interim performance metrics.
- Provide capacity building support for regional economic growth.
- Are environmentally conscious and business focused.
- Include Applicant and selected partners/vendors located in Northwest Florida.

Applications will be evaluated and scored based on compliance with the statutory requirements of the Triumph Gulf Coast legislation, including but not limited to the priorities identified therein and the geographic region served by the proposed project or program.

Applicant Information

Name of Individual (if applying in individual capacity): _____

Name of Entity/Organization: Franklin County Board of County Commissioners

Background of Applicant Individual/Entity/Organization: Franklin County organized in 1832

(If additional space is needed, please attach a Word document with your entire answer.)

Federal Employer Identification Number: 59-6000612

Contact Information:

Primary Contact Information: Mark C. Curenton

Title: County Planner

Mailing Address: 34 Forbes Street, Suite 1

Apalachicola, Florida 32320

Phone: 850-653-9783 x-160

Email: markc@franklincountyflorida.com

Website: franklincountyflorida.com

Identify any co-applicants, partners, or other entities or organizations that will have a role in the proposed project or program and such partners proposed roles.

Franklin County Tourist Development Council - provide match of \$100,000.

State of Florida, State Fire Marshal - provide \$100,000 in funding toward installing a
fire sprinkler system.

(If additional space is needed, please attach a Word document with your entire answer.)

Total amount of funding requested from Triumph Gulf Coast: \$1,800,000

Has the applicant in the past requested or applied for funds for all or part of the proposed project/program?

☒ Yes ☐ No

If yes, please provide detailed information concerning the prior request for funding, including:

- the date the request/application for funding was made;
- the source to which the request/application for funding was made,
- the results of the request/application for funding, and
- projected or realized results and/or outcomes from prior funding.

See the list of Past Renovations to the Fort Coombs Armory attached
as Appendix A.

(If additional space is needed, please attach a Word document with your entire answer.)

Describe the financial status of the applicant and any co-applicants or partners:

Financial status of Franklin County is sound. The County is audited every year.
A copy of the latest audit is attached.

(If additional space is needed, please attach a Word document with your entire answer.)

In a separate attachment, please provide financial statements or information that details the financial status of the applicant and any co-applicants or partners.

Has the applicant or any co-applicants, partners or any associated or affiliated entities or individuals filed for bankruptcy in the last ten (10) years?

☐ Yes ☒ No

If yes, please identify the entity or individual that filed for bankruptcy and the date of filing.

(If additional space is needed, please attach a Word document with your entire answer.)

Eligibility

Pursuant to Section 288.8017, Triumph Gulf Coast, Inc. was created to make awards from available funds to projects or programs that meet the priorities for economic recovery, diversification, and enhancement of the disproportionately affected counties. The disproportionately affected counties are: Bay County, Escambia County, Franklin County, Gulf County, Okaloosa County, Santa Rosa County, Walton County, or Wakulla County. *See*, Section 288.08012.

1. From the choices below, please check the box that describes the purpose of the proposed project or program (check all that apply):

- ☐ Ad valorem tax rate reduction within disproportionately affected counties;
- ☐ Local match requirements of s. 288.0655 for projects in the disproportionately affected counties;
- ☒ Public infrastructure projects for construction, expansion, or maintenance which are shown to enhance economic recovery, diversification, and enhancement of the disproportionately affected counties;
- ☐ Grants to local governments in the disproportionately affected counties to establish and maintain equipment and trained personnel for local action plans of response to respond to disasters, such as plans created for the Coastal Impacts Assistance Program;
- ☐ Grants to support programs that prepare students for future occupations and careers at K-20 institutions that have campuses in the disproportionately affected counties. Eligible programs include those that increase students' technology skills and knowledge; encourage industry certifications; provide rigorous, alternative pathways for students to meet high school graduation requirements; strengthen career readiness initiatives; fund high-demand programs of emphasis at the bachelor's and master's level designated by the Board of Governors; and, similar to or the same as talent retention programs created by the Chancellor of the State University System and the Commission of Education, encourage students with interest or aptitude for science, technology, engineering, mathematics, and medical disciplines to pursue postsecondary education at a state university or a Florida College System institution within the disproportionately affected counties;
- ☐ Grants to support programs that provide participants in the disproportionately affected counties with transferable, sustainable workforce skills that are not confined to a single employer; and
- ☐ Grants to the tourism entity created under s. 288.1226 for the purpose of advertising and promoting tourism and Fresh From Florida, and grants to promote workforce and infrastructure, on behalf of all of the disproportionately affected counties.

- See page 30 of the attached sheets.

7

3. Explain how the proposed project or program is considered transformational and how it will effect the disproportionately affected counties in the next ten (10) years.

See page 31 of the attached sheets

(If additional space is needed, please attach a Word document with your entire answer.)

4. Describe data or information available to demonstrate the viability of the proposed project or program.

See page 32 of the attached sheets

(If additional space is needed, please attach a Word document with your entire answer.)

5. Describe how the impacts to the disproportionately affected counties will be measured long term.

See page 32 of the attached sheets

(If additional space is needed, please attach a Word document with your entire answer.)

6. Describe how the proposed project or program is sustainable. (Note: Sustainable means how the proposed project or program will remain financially viable and continue to perform in the long-term after Triumph Gulf Coast, Inc. funding.)

See page 33 of the attached sheets

(If additional space is needed, please attach a Word document with your entire answer.)

7. Describe how the deliverables for the proposed project or program will be measured.

See page 33 of the attached sheets

(If additional space is needed, please attach a Word document with your entire answer.)

Priorities

1. Please check the box if the proposed project or program will meet any of the following priorities (check all that apply):

- ☒ Generate maximum estimated economic benefits, based on tools and models not generally employed by economic input-output analyses, including cost-benefit, return-on-investment, or dynamic scoring techniques to determine how the long-term economic growth potential of the disproportionately affected counties may be enhanced by the investment.
- ☐ Increase household income in the disproportionately affected counties above national average household income.
- ☐ Leverage or further enhance key regional assets, including educational institutions, research facilities, and military bases.

- ☒ Partner with local governments to provide funds, infrastructure, land, or other assistance for the project.
- ☐ Benefit the environment, in addition to the economy.
- ☐ Provide outcome measures.
- ☐ Partner with K-20 educational institutions or school districts located within the disproportionately affected counties as of January 1, 2017.
- ☒ Are recommended by the board of county commissioners of the county in which the project or program will be located.
- ☒ Partner with convention and visitor bureaus, tourist development councils, or chambers of commerce located within the disproportionately affected counties.

2. Please explain how the proposed project meets the priorities identified above.

See page 33 of the attached sheets

(If additional space is needed, please attach a Word document with your entire answer.)

3. Please explain how the proposed project or program meets the discretionary priorities identified by the Board.

See page 34 of the attached sheets

(If additional space is needed, please attach a Word document with your entire answer.)

4. In which of the eight disproportionately affected county/counties is the proposed project or program located? (Circle all that apply)

Escambia Santa Rosa Okaloosa Walton Bay Gulf **O**rankli Wakulla

5. Was this proposed project or program on a list of proposed projects and programs submitted to Triumph Gulf Coast, Inc., by one (or more) of the eight disproportionately affected Counties as a project and program located within its county?

☒ Yes ☐ No

If yes, list all Counties that apply: Franklin County

6. Does the Board of County Commissioners for each County listed in response to question 5, above, recommend this project or program to Triumph?

☒ Yes ☐ No

****Please attach proof of recommendation(s) from each County identified.**

Approvals and Authority

1. If the Applicant is awarded grant funds based on this proposal, what approvals must be obtained before Applicant can execute an agreement with Triumph Gulf Coast, Inc.?
The Franklin County Board of County Commissioners must approve the agreement.
(If additional space is needed, please attach a Word document with your entire answer.)
2. If approval of a board, commission, council or other group is needed prior to execution of an agreement between the entity and Triumph Gulf Coast:
 - A. Provide the schedule of upcoming meetings for the group for a period of at least six months.
 - B. State whether that group can hold special meetings, and if so, upon how many days' notice.See pages 34 & 35 of the attached sheets.
(If additional space is needed, please attach a Word document with your entire answer.)
3. Describe the timeline for the proposed project or program if an award of funding is approved, including milestones that will be achieved following an award through completion of the proposed project or program.
See page 35 of attached sheets.
(If additional space is needed, please attach a Word document with your entire answer.)
4. Attach evidence that the undersigned has all necessary authority to execute this proposal on behalf of the entity applying for funding. This evidence may take a variety of forms, including but not limited to: a delegation of authority, citation to relevant laws or codes, policy documents, etc. In addition, please attach any support letters from partners.

See page 35 of attached sheets.

Funding and Budget:

Pursuant to Section 288.8017, awards may not be used to finance 100 percent of any project or program. An awardee may not receive all of the funds available in any given year.

1. Identify the amount of funding sought from Triumph Gulf Coast, Inc. and the time period over which funding is requested.
\$1.8 million - the funding will be expended within 21 months.
(If additional space is needed, please attach a Word document with your entire answer.)
2. What percentage of total program or project costs does the requested award from Triumph Gulf Coast, Inc. represent? (Please note that an award of funding will be for a defined monetary amount and will not be based on percentage of projected project costs.)
90%
(If additional space is needed, please attach a Word document with your entire answer.)
3. Please describe the types and number of jobs expected from the proposed project or program and the expected average wage.
See page 35 of the attached sheets.
(If additional space is needed, please attach a Word document with your entire answer.)
4. Does the potential award supplement but not supplant existing funding sources? If yes, describe how the potential award supplements existing funding sources.
☒ Yes ☐ No
See page 36 of the attached sheets.
(If additional space is needed, please attach a Word document with your entire answer.)
5. Please provide a Project/Program Budget. Include all applicable costs and other funding sources available to support the proposal.

A. Project/Program Costs:

Example Costs (Note: Not exhaustive list of possible Cost categories.)

Construction	\$ _____
Reconstruction	\$ <u>1,663,000</u>
Design & Engineering	\$ <u>337,000</u>
Land Acquisition	\$ _____
Land Improvement	\$ _____
Equipment	\$ _____
Supplies	\$ _____
Salaries	\$ _____

Other (specify) \$ _____

Total Project Costs: \$ 2,000,000

B. Other Project Funding Sources:

Example Funding Sources (Note: Not an exhaustive list of possible Funding Sources.)

City/County \$ 100,000

Private Sources \$ _____

Other (e.g., grants, etc.) \$ 100,000

Total Other Funding \$ _____

Total Amount Requested: \$ 1,800,000

Note: The total amount requested must equal the difference between the costs in 3A. and the other project funding sources in 3.B.

C. Provide a detailed budget narrative, including the timing and steps necessary to obtain the funding and any other pertinent budget-related information.

See page 36 of the attached sheets.

(If additional space is needed, please attach a Word document with your entire answer.)

Applicant understands that the Triumph Gulf Coast, Inc. statute requires that the award contract must include provisions requiring a performance report on the contracted activities, must account for the proper use of funds provided under the contract, and must include provisions for recovery of awards in the event the award was based upon fraudulent information or the awardee is not meeting the performance requirements of the award.

☒ Yes ☐ No

Applicant understands that awardees must regularly report to Triumph Gulf Coast, Inc. the expenditure of funds and the status of the project or program on a schedule determined by Triumph Gulf Coast, Inc.

☒ Yes ☐ No

Applicant acknowledges that Applicant and any co-Applicants will make books and records and other financial data available to Triumph Gulf Coast, Inc. as necessary to measure and confirm performance metrics and deliverables.

☒ Yes ☐ No

Applicant acknowledges that Triumph Gulf Coast, Inc. reserves the right to request additional information from Applicant concerning the proposed project or program.

☒ Yes ☐ No

ADDENDUM FOR INFRASTRUCTURE PROPOSALS:

1. Program Requirements

- A. Is the infrastructure owned by the public?
☒ Yes ☐ No
- B. Is the infrastructure for public use or does it predominately benefit the public?
☒ Yes ☐ No
- C. Will the public infrastructure improvements be for the exclusive benefit of any single company, corporation or business entity?
☐ Yes ☒ No
- D. Provide a detailed explanation of how the public infrastructure improvements will connect to a broader economic development vision for the community and benefit additional current and future businesses.

See page 37 of the attached sheets.

(If additional space is needed, please attach a Word document with your entire answer.)

- E. Provide a detailed description of, and quantitative evidence demonstrating how the proposed public infrastructure project will promote:
- Economic recovery,
 - Economic Diversification,
 - Enhancement of the disproportionately affected counties,
 - Enhancement of a Targeted Industry.

See page 38 of the attached sheets.

(If additional space is needed, please attach a Word document with your entire answer.)

2. Additional Information

- A. Is this project an expansion of existing infrastructure project?
☒ Yes ☐ No
- B. Provide the proposed beginning commencement date and number of days required to complete construction of the infrastructure project.

See page 39 of the attached sheets

(If additional space is needed, please attach a Word document with your entire answer.)

- C. What is the location of the public infrastructure? (Provide the road number, if applicable.)

66 4th Street, Apalachicola, Florida 32320

(If additional space is needed, please attach a Word document with your entire answer.)

- D. Who is responsible for maintenance and upkeep? (Indicate if more than one are applicable.)

Franklin County Board of County Commissioners

(If additional space is needed, please attach a Word document with your entire answer.)

- E. What permits are necessary for the infrastructure project?

See page 39 of the attached sheets.

(If additional space is needed, please attach a Word document with your entire answer.)

Detail whether required permits have been secured, and if not, detail the timeline for securing these permits. Additionally, if any required permits are local permits, will these permits be prioritized?

See page 39 of the attached sheets.

(If additional space is needed, please attach a Word document with your entire answer.)

- F. What is the future land use and zoning designation on the proposed site of the Infrastructure improvement, and will the improvements conform to those uses?

Current land use is Public Facilities. Current zoning is C-1 General

Commercial

(If additional space is needed, please attach a Word document with your entire answer.)

- G. Will an amendment to the local comprehensive plan or a development order be required on the site of the proposed project or on adjacent property to accommodate the infrastructure and potential current or future job creation opportunities? If yes, please detail the timeline
☐ Yes ☒ No
-

(If additional space is needed, please attach a Word document with your entire answer.)

- H. Does this project have a local match amount? If yes, please describe the entity providing the match and the amount.
☒ Yes ☐ No

Franklin County Tourist Development Council - \$100,000

Florida State Fire Marshal's Office - \$100,000

(If additional space is needed, please attach a Word document with your entire answer.)

- I. Provide any additional information or attachments to be considered for this proposal.

Photographs of the Fort Coombs Armory are attached as Appendix "H"

Fort Coombs Armory Historic Preservation Report attached as Appendix "I"

Fire Sprinkler System Design Criteria Package attached as Appendix "J"

(If additional space is needed, please attach a Word document with your entire answer.)

ADDENDUM FOR WORKFORCE TRAINING PROPOSALS

1. Program Requirements

- A. Will this proposal supports programs that prepare students for future occupations and careers at K-20 institutions that have campuses in the disproportionately affected counties? If yes, please identify where the campuses are located and provide details on how the proposed programs will prepare students for future occupations and at which K-20 institutions that programs will be provided.

☐ Yes ☐ No

(If additional space is needed, please attach a Word document with your entire answer.)

- B. Will the proposed program (check all that apply):

- ☐ Increase students' technology skills and knowledge
- ☐ Encourage industry certifications
- ☐ Provide rigorous, alternative pathways for students to meet high school graduation requirements
- ☐ Strengthen career readiness initiatives
- ☐ Fund high-demand programs of emphasis at the bachelor's and master's level designated by the Board of Governors
- ☐ Encourage students with interest or aptitude for science, technology, engineering, mathematics, and medical disciplines to pursue postsecondary education at a state university or a Florida College System institution within the disproportionately affected counties (similar to or the same as talent retention programs created by the Chancellor of the State University System and the Commission on Education)

For each item checked above, describe how the proposed program will achieve these goals

(If additional space is needed, please attach a Word document with your entire answer.)

- C. Will this proposal provide participants in the disproportionately affected counties with transferable, sustainable workforce skills but not confined to a single employer? If yes, please provide details.

☐ Yes ☐ No

(If additional space is needed, please attach a Word document with your entire answer.)

- D. Identify the disproportionately affected counties where the proposed programs will operate or provide participants with workforce skills.

(If additional space is needed, please attach a Word document with your entire answer.)

- E. Provide a detailed description of, and quantitative evidence demonstrating how the proposed project or program will promote:
- Economic recovery,
 - Economic Diversification,
 - Enhancement of the disproportionately affected counties,
 - Enhancement of a Targeted Industry.

(If additional space is needed, please attach a Word document with your entire answer.)

2. Additional Information

- A. Is this an expansion of an existing training program? Is yes, describe how the proposed program will enhance or improve the existing program and how the proposal program will supplements but not supplant existing funding sources.
- ☐ Yes ☐ No

(If additional space is needed, please attach a Word document with your entire answer.)

- B. Indicate how the training will be delivered (*e.g.*, classroom-based, computer based, other).
- If in-person, identify the location(s) (*e.g.*, city, campus, etc.) where the training will be available.

If computer-based, identify the targeted location(s) (e.g., city, county) where the training will be available.

(If additional space is needed, please attach a Word document with your entire answer.)

- C. Identify the number of anticipated enrolled students and completers.

(If additional space is needed, please attach a Word document with your entire answer.)

- D. Indicate the length of the program (e.g., quarters, semesters, weeks, months, etc.) including anticipated beginning and ending dates.

(If additional space is needed, please attach a Word document with your entire answer.)

- E. Describe the plan to support the sustainability of the proposed program.

(If additional space is needed, please attach a Word document with your entire answer.)

- F. Identify any certifications, degrees, etc. that will result from the completion of the program.

(If additional space is needed, please attach a Word document with your entire answer.)

- G. Does this project have a local match amount? If yes, please describe the entity providing the match and the amount.

☐ Yes

☐ No

(If additional space is needed, please attach a Word document with your entire answer.)

- H. Provide any additional information or attachments to be considered for this proposal.

(If additional space is needed, please attach a Word document with your entire answer.)

ADDENDUM FOR AD VALOREM TAX RATE REDUCTION:

1. Program Requirements

- A. Describe the property or transaction that will be supported by the ad valorem tax rate reduction.

(If additional space is needed, please attach a Word document with your entire answer.)

- B. Provide a detailed explanation of how the ad valorem tax rate reduction will connect to a broader economic recovery, diversification, enhancement of the disproportionately affected counties and/or enhancement of a targeted industry.

(If additional space is needed, please attach a Word document with your entire answer.)

- C. Provide a detailed description of the quantitative evidence demonstrating how the proposed ad valorem tax reduction will promote:
- Economic recovery,
 - Economic Diversification,
 - Enhancement of the disproportionately affected counties,
 - Enhancement of a Targeted Industry.

(If additional space is needed, please attach a Word document with your entire answer.)

2. Additional Information

- A. What is the location of the property or transaction that will be supported by the ad valorem tax rate reduction?

(If additional space is needed, please attach a Word document with your entire answer.)

- B. Detail the current status of the property or transaction that will be supported by the ad valorem tax rate reduction and provide a detailed description of when and how the ad valorem tax rate reduction will be implemented.

(If additional space is needed, please attach a Word document with your entire answer.)

- C. Does this proposed project have a local match amount? If yes, please describe the entity providing the match and the amount.
☐ Yes ☐ No

(If additional space is needed, please attach a Word document with your entire answer.)

- D. Provide any additional information or attachments to be considered for this proposal.

(If additional space is needed, please attach a Word document with your entire answer.)

**ADDENDUM FOR LOCAL MATCH REQUIREMENTS OF SECTION 288.0655,
FLORIDA STATUTES**

1. Program Requirements

- A. Describe the local match requirements of Section 288.0655 and the underlying project, program or transaction that will be funded by the proposed award.

(If additional space is needed, please attach a Word document with your entire answer.)

- B. Provide a detailed explanation of how the local match requirements and the underlying project or program will connect to a broader economic recovery, diversification, enhancement of the disproportionately affected counties and/or enhancement of a targeted industry.

(If additional space is needed, please attach a Word document with your entire answer.)

- C. Provide a detailed description of, and quantitative evidence demonstrating how the proposed local match requirements will promote:
- Economic recovery,
 - Economic Diversification,
 - Enhancement of the disproportionately affected counties,
 - Enhancement of a Targeted Industry.

(If additional space is needed, please attach a Word document with your entire answer.)

2. Additional Information

- A. What is the location of the property or transaction that will be supported by the local match requirements?

(If additional space is needed, please attach a Word document with your entire answer.)

- B. Detail the current status of the property or transaction that will be supported by the local match requirement and provide a detailed description of when and how the local match requirement will be implemented.

(If additional space is needed, please attach a Word document with your entire answer.)

- C. Provide any additional information or attachments to be considered for this proposal.

(If additional space is needed, please attach a Word document with your entire answer.)

ADDENDUM FOR LOCAL ACTION PLAN

1. Program Requirements

- A. Describe how the proposed award will establish and maintain equipment and trained personnel for local action plans of response to respond to disasters.
- B. Describe the type and amount of equipment and trained personnel that will be established or maintained by the proposed award.
- C. Identify the specific local action plans (*e.g.*, Coastal Impacts Assistance Program) that will benefit from the proposed award.
- D. Provide a detailed explanation of how the proposed award will connect to a broader economic recovery, diversification, enhancement of the disproportionately affected counties and/or enhancement of a targeted industry.

(If additional space is needed, please attach a Word document with your entire answer.)

- E. Provide a detailed description of the quantitative evidence demonstrating how the proposed will promote:
 - Economic recovery,
 - Economic Diversification,
 - Enhancement of the disproportionately affected counties,
 - Enhancement of a Targeted Industry.

(If additional space is needed, please attach a Word document with your entire answer.)

2. Additional Information

- A. What is the location of the local action program that will be supported by the proposed award?

(If additional space is needed, please attach a Word document with your entire answer.)

- B. Detail the current status of the local action plans (*e.g.*, new plans, existing plans, etc.) that will be supported by the proposed award and provide a detailed description of when and how the proposed award will be implemented.

(If additional space is needed, please attach a Word document with your entire answer.)

- C. Provide any additional information or attachments to be considered for this proposal.

(If additional space is needed, please attach a Word document with your entire answer.)

ADDENDUM FOR ADVERTISING/PROMOTION

1. Program Requirements

- A. Is the applicant a tourism entity created under s. 288.1226, Florida Statutes?
☐ Yes ☐ No

- B. Does the applicant advertise and promote tourism and Fresh From Florida? If yes, provide details on how it advertises and promotes tourism and Fresh From Florida.
☐ Yes ☐ No
-

(If additional space is needed, please attach a Word document with your entire answer.)

- C. Does the proposed award promote workforce and infrastructure on behalf of the disproportionately affected counties? If yes, describe how workforce and infrastructure is promoted on behalf of the disproportionately affected counties.
☐ Yes ☐ No
-

(If additional space is needed, please attach a Word document with your entire answer.)

- D. Provide a detailed explanation of how the proposed award will connect to a broader economic recovery, diversification, enhancement of the disproportionately affected counties and/or enhancement of a targeted industry.
-

(If additional space is needed, please attach a Word document with your entire answer.)

- E. Provide a detailed description of the quantitative evidence demonstrating how the proposed will promote:
- Economic recovery,
 - Economic Diversification,
 - Enhancement of the disproportionately affected counties,
 - Enhancement of a Targeted Industry.
-

(If additional space is needed, please attach a Word document with your entire answer.)

2. Additional Information

- A. Describe the advertising and promotion mediums and locations where the advertising and promotion will occur.

(If additional space is needed, please attach a Word document with your entire answer.)

- B. Detail the current status of the advertising and promotion (*e.g.*, new plans, existing plans, etc.) that will be supported by the proposed award and provide a detailed description of when and how the proposed award will be implemented.

(If additional space is needed, please attach a Word document with your entire answer.)

- C. Provide any additional information or attachments to be considered for this proposal.

(If additional space is needed, please attach a Word document with your entire answer.)

I, the undersigned, do hereby certify that I have express authority to sign this proposal on my behalf or on behalf of the above-described entity, organization, or governmental entity:

Name of Applicant: Franklin County Board of County Commissioners

Name and Title of Authorized Representative: Joseph A. Parrish, Chairman

Representative Signature: 

Signature Date: May 29, 2018

FORT COOMBS ARMORY RENOVATIONS FRANKLIN COUNTY, FLORIDA

Eligibility

2. Provide the title and a detailed description of the proposed project ...

FORT COOMBS ARMORY RENOVATIONS

This project will complete the renovation of the Fort Coombs Armory into a Convention Center.

The Fort Coombs Armory, located at 66 4th Street in Apalachicola, was built at a cost of \$10,522 in 1901 to replace the original armory that burned in the May 25, 1900, fire that devastated five blocks of downtown. Built by the Franklin County Board of County Commissioners to house the local militia unit, the Franklin Guards, the building was later sold to the State of Florida. It housed military units until the last National Guard unit finally left the Armory in about 2003.

In 2004 the Board of County Commissioners subleased the Armory from the State of Florida Armory Board. The County was responsible for the day-to-day operation and maintenance of the building along with minor repairs. The Armory Board was responsible for major repairs and preparing grant applications to fund those major repairs.

Five year later, the Armory Board decided it had no further use of the property in Apalachicola and cancelled their lease with the State of Florida. The Franklin County Board of County Commissioners stepped in and leased the building directly from the State of Florida. With this lease Franklin County was responsible for all maintenance and repairs on the building.

At this time there were several significant problems with the Armory. The Florida National Guard had not spent any funds on repairs for a number of years prior to Franklin County assuming responsibility for the building. Major leaks in the roof had caused the floor to rot away in a storage area. The electrical system was out of date, and one of the roof leaks was directly above the electrical panel for the building. The restrooms were not handicapped accessible and inadequate for the size of the building. The kitchen was antiquated and the building was not air-conditioned, making it unbearably hot during the summer. The floor in the main hall had settled over the past century and undulations were visible in the flooring looking across the room. Lead paint was present throughout the building.

Since leasing the building from the State of Florida, the County has undertaken a program of renovations and improvements to the building to correct problems and make the building more suitable for a convention center. Franklin County has invested approximately \$1.3 million in repairing and renovating the building up to the present time.

FORT COOMBS ARMORY RENOVATIONS FRANKLIN COUNTY, FLORIDA

This project will complete the required renovations to the building and the outdoor yard adjacent to the building to fully convert Fort Coombs into a completely code-compliant convention center. The different activities of the renovation include:

- Demolition of existing exterior storage sheds, fencing and paving in the yard northwest of the building.
- Building new parking lot with curbing and stormwater structures.
- Building new paved courtyard around the building entrance and sidewalks.
- Building exterior cooking area.
- Installing lighting for parking lot and courtyard.
- Installing landscaping and irrigation.
- Reroofing mail hall.
- Painting and sealing exterior walls.
- Repairing twenty-three historic windows.
- Installing an automatic fire sprinkler system.
- Wood repair in main hall.
- Lead-based-paint remediation in main hall.
- Repairing light fixtures and upgrading electrical in main hall.
- Repairing flooring and refinishing floor in main hall.
- Installing an ADA-compliant ramp in the side corridor.
- Renovating the meeting room (New wall and ceiling finishes, HVAC and electrical upgrades).
- Renovating Room 102 (Lead-based-paint remediation and electrical upgrades).
- Acoustical treatment for main hall.
- Architectural and engineering services to design and oversee the renovations.

Perhaps the most critical work that needs to be accomplished is the installation of the automatic fire sprinkler system. The State Fire Marshal found that the building was not in compliance with the fire safety codes and has limited occupancy in the building to no more than 299 people until a sprinkler system is installed. In addition when any event is held in the building a county employee must be present as a fire watch, whose sole responsibility is to monitor the building for possible fires. The State Fire Marshal also has stated that they will not approve any more plans for renovation to the Fort Coombs Armory until the fire sprinkler system is installed.

3. Explain how the proposed project is considered transformational and how it will effect Franklin County in the next ten years.

During its 186 year history Franklin County has passed through four distinct economic phases. Initially, prior to the Civil War, the County was dominated by the cotton shipping industry. After the war the lumber industry was paramount.

FORT COOMBS ARMORY RENOVATIONS FRANKLIN COUNTY, FLORIDA

As the supply of native timber declines around the time of the First World War the seafood industry came to dominate the local economy. In the last three decades, for a variety of reasons, the seafood industry has been in decline and the tourist industry has taken its place as the leading economic engine for Franklin County.

Although the beaches of the County attract a large number of visitors, the historic buildings of the Apalachicola are also a major draw for tourists. Beginning with the restoration of the Gibson Inn in the middle 1980s many of the historic structures in town have been restored and returned to use, either as residences, businesses or civic structures.

From the time it was completed in 1901 the Fort Coombs Armory has functioned as a civic center as well as an armory. In addition to military activities, the building also hosted an assortment of civilian functions over the years. Dances, church bazaars, wedding receptions, training classes are just a few of the functions that have been held there over the years.

As Franklin County transitions to a tourist economy, the need for a large, enclosed, air-conditioned space for public and private events is becoming more evident. It is probably the only building in the County that can accommodate events for over 150 people. The Florida Fish and Wildlife Conservation Commission has met twice in Franklin County in recent years. They expressed interest in meeting in the Armory, but could not utilize the building since it is not fully ADA compliant.

The main hall of the Armory is the largest indoor public space in Franklin County. Its location near downtown Apalachicola is also advantageous, since the building is easy to find for people from out of town. The location is also within walking distance of the shops and restaurants in downtown Apalachicola.

4. Describe data or information available to demonstrate the viability of the proposed project.

The Franklin County Tourist Development Council has collected a tourist tax since the 2004-2005 fiscal year. Collections have more than doubled since that time from \$572,906.85 to \$1,250,725.82, in the 2016-2017 fiscal year, the last full year for which data is available. The tax rate has remained the same over that time period, so this demonstrates the large increase in the number of tourists visiting Franklin County in the last thirteen years. See the list of the Tourist Development Council collections in attached Appendix B.

5. Describe how the impacts to Franklin County will be measured long term.

Franklin County will monitor and keep track of how many events are held in the Fort Coombs Armory, what type of events they are, and approximately how many

**FORT COOMBS ARMORY RENOVATIONS
FRANKLIN COUNTY, FLORIDA**

people attend each event. The County will also monitor the amount of the Tourist Development Council collects each year to keep a track on how the project impacts the number of tourists visiting the area.

6. Describe how the proposed project is sustainable.

The renovation of the Fort Coombs Armory will allow the building to be used more fully as a convention center. Franklin County charges users of the building, generating income that is used to pay the utility bills for the building. Maintenance and insurance on the building is paid for out of Franklin County's regular budget.

7. Describe how the deliverables for the proposed project will be measured.

The deliverables will be a renovated building that is fully ADA accessible and meets all the current building codes.

Priorities

2. Please explain how the proposed project meets the priorities identified above.

Franklin County contracted with the Apalachee Regional Planning Council to prepare an economic analysis for the \$2 million renovation of the Fort Coombs Armory using a REMI model. The ARPC submitted Franklin County, Fort Coombs Rehabilitation, Economic Impact Forecast which lists a range of impacts for the project. The high projection, based on adding the yearly impacts, shows the addition of 170 new jobs to the local economy and \$8.8 million dollars in additional gross domestic product. A more moderate projection, based on averaging the yearly impacts, shows the addition of 17.3 new jobs, \$830,550 in gross domestic product and an increase of \$1,688,858 in personal income due to the \$2 million project. A copy of the *Franklin County, Fort Coombs Rehabilitation, Economic Impact Forecast* is attached as Appendix C.

This renovation is being accomplished in partnership with the Franklin County Tourist Development Council and the State of Florida through the State Fire Marshal. The TDC has provided \$790,000 of funding for renovation of the armory in the past and is providing \$100,000 for this final phase of renovations. The legislature allocated \$100,000 to installing a fire sprinkler system at Fort Coombs. These funds are being administered through the State Fire Marshal's Office.

The renovation of the Fort Coombs Armory is recommended by the Franklin County Board of County Commissioners. See the attached Resolution, dated May 1, 2018, labeled as Appendix D.

**FORT COOMBS ARMORY RENOVATIONS
FRANKLIN COUNTY, FLORIDA**

The renovation of the Fort Coombs Armory is in partnership with the Franklin County Tourist Development Council, which is providing \$100,000 in matching funding.

3. Please explain how the proposed project meets the discretionary priorities identified by the Board.

Renovation of the Fort Coombs Armory is a project that can be consummated quickly and efficiently. Franklin County already has an architect hired who has worked on previous phases of renovation on the building. Once the funding is awarded it will take 21 months to complete the project.

Franklin County is located in a Rural Area of Opportunity. Franklin County was most recently designated as a Rural Area of Opportunity by Governor Scott on July 8, 2015, by Executive Order Number 15-133. A copy of this Executive Order is attached as Appendix E.

Once these renovations funded by Triumph Gulf Coast, Inc. are completed, the Fort Coombs Armory will be maintained and operated by Franklin County, guaranteeing the sustainability of the project once Triumph funding is expended.

The \$1.8 million of Triumph funding will leverage funding from the Franklin County Tourist Development Council and the State of Florida through the State Fire Marshal's Office. Both of those entities are providing \$100,000 for renovation of the Armory. The funding from the State Fire Marshal's Office is restricted to adding a fire sprinkler system to the building.

Approvals and Authority

- 2.A. Provide the schedule of upcoming meetings for the group for a period of at least six months.

Franklin County Board of County Commissioners
Regular Meeting Dates for 2018

June 5, 2018	September 18, 2018
June 19, 2018	October 2, 2018
July 3, 2018	October 16, 2018
July 17, 2018	November 6, 2018
August 7, 2018	November 20, 2018
August 21, 2018	December 4, 2018
September 4, 2018	December 18, 2018

**FORT COOMBS ARMORY RENOVATIONS
FRANKLIN COUNTY, FLORIDA**

2.B. State whether that group can hold special meetings, and if so, upon how many days' notice.

The Board of County Commissioners can hold a special meeting, if required, upon giving public notice to the media that an emergency meeting is being held and the matter to be considered at the meeting.

3. Describe the timeline for the proposed project or program if an award of funding is approved, including milestones that will be achieved following an award through completion of the proposed project.

Once funding is approved Franklin County will proceed with the design of the final renovations to the Fort Coombs Armory. It is expected that the design will take six months. Once the design is complete permitting will take two months, and bidding and award of the contract will take three months which can run simultaneously. Construction will take twelve months. The total length of time will be twenty-one months.

4. Evidence that the undersigned has all necessary authority to execute this proposal on behalf of the entity applying for funding.

See the attached Resolution, dated May1, 2018, labeled as Appendix D, authorizing Joseph A. Parrish, Chairman of the Board of County Commissioners, to sign this application.

Funding and Budget

3. Please describe the types and number of jobs expected from the proposed project and the expected average wage.

Based on the economic analysis of the proposed renovations to the Fort Coombs Armory prepared by the Apalachee Regional Planning Council this work will result in the addition of between 17.3 and 170 new jobs. The 17.3 figure comes from averaging the differences between the control and the simulation in the REMI model. The high projection of 170 new jobs comes from cumulative differences between the two.

Based on the high-end prediction of 170 new jobs, 73 of these jobs are attributable to the \$2,000,000 spent on construction. These will not necessarily all be construction jobs, but will also include sales jobs at local businesses where contractors buy supplies, restaurant and food service jobs where contractors eat lunch, etc.

35 new jobs are attributable to increased sales in the economy due to the project. Another 58 new jobs are attributable to the amenity value added to the community

**FORT COOMBS ARMORY RENOVATIONS
FRANKLIN COUNTY, FLORIDA**

from the project, and 4 new jobs are attributable to increased government spending. As stated above, these new jobs are spread out over the whole economy. The new jobs attributable to sales are not necessarily retail sales positions, but are jobs throughout the economic base of Franklin County, including construction, retail trade, professional services, management services, health care, real estate, and hospitality.

The REMI model predicts a county-wide increase in personal income of \$1,688,858 from the start of the renovation project to 2026. This is spread among a county population estimated at 12,161 on April 1, 2017.

The economic analysis that these job creation figures are based on is attached as Appendix C.

4. Does the potential award supplement but not supplant existing funding sources? If yes, describe how the potential award supplements existing funding sources.

This award would supplement, not supplant existing funding sources. Franklin County has been designated a Rural Area of Opportunity since 1999 and has utilized grant funding, not ad valorem taxes, to pay for the major renovations of the Fort Coombs Armory. Franklin County has continued to seek grant funding to bring the building up to current codes. Historical grants from the Florida Division of Historical Resources are limited to a maximum amount of \$500,000 and currently require a 25% match from Franklin County. Because of the requirement that an entity not have more than one historic grant from DHR open at any time, and assuming that Franklin County could come up with the necessary match, it would take Franklin County at least eight years to finish renovations on the Fort Coombs Armory just utilizing DHR grants.

5. C. Provide a detailed budget narrative, including the timing and steps necessary to obtain the funding and any other pertinent budget-related information.

The entire renovation project for the Fort Coombs Armory is estimated to cost \$2,000,000. Of this amount, \$337,000, or 16.9%, will go toward architectural and engineering fees for the project. These fees include the cost of designing the renovations plus bidding and construction administration. The design fees will probably be about 75% of the total architectural and engineering fees while the bidding and construction administration fees will take the remaining 25%.

The remainder of the project funding, \$1,663,000, will go into actual renovations to the building and grounds to produce a structure that is fully ADA accessible and meets the current building codes. See the April 18, 2018, letter from Warren A Emo to Mark C. Curenion, attached as Appendix F, for a breakdown of the specific costs for each element of the renovation.

FORT COOMBS ARMORY RENOVATIONS FRANKLIN COUNTY, FLORIDA

The design of the project is estimated to take six months. The County would pay the architect monthly for the percentage of design completed. Once design is completed the permitting and bidding of the project is expected to take three months. There will be minimal architectural fees associated with this phase.

Once a contractor begins the twelve-month construction phase of the project the County will receive bills monthly for the amount of work completed. The County will retain a percentage of the money due to the contractor to guarantee completion of the project.

ADDENDUM FOR INFRASTRUCTURE PROPOSALS

1. Program Requirements

D. Provide a detailed explanation of how the public infrastructure improvements will connect to a broader economic development vision for the community and benefit additional current and future businesses.

Thirty years ago Franklin County's economy was heavily based on the fishing industry, including oystering. A secondary contributor to the economy was the forestry industry. Due to a variety of factors beyond the control of the local economy, such as the price of oil, competition from foreign aquaculture, droughts, the "Water Wars" with the State of Georgia, the establishment of Tate's Hell State Forest, etc., the local economy has migrated to a tourist based economy. People come to Franklin County to relax on the beaches, to hunt and fish, to visit the local historic sites, and to take in the cultural heritage available in the community. The collection of historic buildings and sites in Apalachicola make it arguably the second most significant city in the Panhandle historically, behind Pensacola.

The Fort Coombs Armory is a noteworthy part of this transformation in the local economy. Built to house the local National Guard unit the building fulfilled this function until changing world conditions resulted in the disbanding of the local unit. With no need for an armory to house a unit that no longer existed, the National Guard turned the building over to the County to operate.

Traditionally the Fort Coombs Armory has accommodated local events, such as dances, programs, school and church socials, wedding receptions and civic gatherings. As the largest interior space in Franklin County it has been the site of many functions. Its designation as a convention center is just a formal recognition of how the structure has always been utilized.

By renovating the Armory to bring it into compliance with current codes, including the Americans with Disabilities Act accessibility guidelines, it will ensure that this historic structure can continue to be used for public and private events that will draw people to Franklin County.

**FORT COOMBS ARMORY RENOVATIONS
FRANKLIN COUNTY, FLORIDA**

E. Provide a detailed description of, and quantitative evidence demonstrating how the proposed public infrastructure project will promote:

- Economic recovery
- Economic Diversification
- Enhancement of the disproportionately affected counties
- Enhancement of a Targeted Industry

The renovation of the Fort Coombs Armory will help the economic recovery and diversification of Franklin County by contributing to the further development of the tourist industry in the County. During much of the later half of the twentieth century Franklin County's economy was strongly based on the seafood industry. A number of factors have affected the viability of the local seafood industry: competition from foreign and domestic aquaculture, reduced freshwater flows from the Apalachicola River, the cost of fuel, the net ban amendment to the Florida Constitution, and rising local property values. These factors have increased the pressure on the seafood industry, making it less economically viable than in the past.

As the seafood industry has declined, the tourist industry has grown locally. People are attracted to the beaches of Franklin County, which are not nearly as heavily developed as other Panhandle beaches further west, but they are also drawn by other factors. The abundant hunting and recreational fishing offered in the area is a major draw. The fresh seafood offered in local restaurants, the historical ambiance of Apalachicola, and the quiet laid-back lifestyle all contribute to entice people to visit Franklin County.

Evidence of the increase in the tourist trade can be found in the collections of the Franklin County Tourist Development Council. The "bed tax" receipts have more than doubled from 2004-2005 until 2016-2017. See the collection figures for the Franklin County Tourist Development Council attached as Appendix B.

The Fort Coombs Armory is an essential component of increasing the tourist visitation in Franklin County. As an expansive, enclosed, air-conditioned space, the Armory is the site for large events. It is available for rental for private events, and is also used for public events. The Florida Fish and Wildlife Commission has met twice in Franklin County in recent years. They have expressed interest in meeting in the Armory, but have been unable to because the building does not meet current accessibility requirements. Events such as the Florida Fish and Wildlife Commission meetings bring many people to the County and benefit the local economy, and completing the necessary renovations to the building will allow the building to be used to its full capacity.

Franklin County is one of the disproportionately affected counties. Renovating the Fort Coombs Armory will enable it to be used more effectively as a site for events which will attract visitors to Franklin County.

**FORT COOMBS ARMORY RENOVATIONS
FRANKLIN COUNTY, FLORIDA**

2. Additional Information

B. Provide the proposed beginning commencement date and number of days required to complete construction of the infrastructure project.

This project will begin as soon as an agreement is signed between Triumph Gulf Coast, Inc. and Franklin County. Design of the project will take six months. Permitting and bidding will take three months. Actual construction will take twelve months. The duration of the overall project will take twenty-one months. See the April 20, 2018, letter from Warren A. Emo to Mark C. Curenton attached as Appendix G.

E. What permits are necessary for the infrastructure project.

The work on the parking lot will require a stormwater permit from the Northwest Florida Water Management District. The project will also require a building permit from the City of Apalachicola and plans approval from the Florida Division of Historical Resources and the Florida State Fire Marshal.

Detail whether required permits have been secured, and if not, detail the timeline for securing these permits. Additionally, if any required permits are local permits, will these permits be prioritized?

No permits have been secured yet. None of the permits can be secured until plans and specifications are produced detailing exactly what work will be done.

The stormwater permit can be obtained within 90 days of submitting the complete application. The local building permit will take about a month and a half to obtain since it will have to go before the City's Planning and Zoning Commission for approval of compliance with the City's Historic Preservation Ordinance. The Florida Division of Historic Resources will review the plans for compliance with the Secretary of the Interior's Standards for Rehabilitation. The State Fire Marshal will review the plans for fire safety. Both the Florida Division of Historic Resources and the State Fire Marshal's review can be accomplished within the month and a half it takes to go through the City of Apalachicola's approval process.

**FORT COOMBS ARMORY AND CONVENTION CENTER
APALACHICOLA, FLORIDA**

TRIUMPH GRANT APPLICATION

LIST OF APPENDICES

APPENDIX A – Prior Funding Requests for Fort Coombs Armory

APPENDIX B – Tourist Development Council Collections

**APPENDIX C – Franklin County, Fort Coombs Rehabilitation, Economic Impact
Forecast**

APPENDIX D – Franklin County Resolution, May 1, 2018

APPENDIX E – Executive Order 15-133, Establishing Rural Area of Opportunity

APPENDIX F – Letter from Warren Emo, April 18, 2018, Anticipated Project Costs

**APPENDIX G – Letter from Warren Emo, April 20, 2018, Anticipated Construction
Schedule**

APPENDIX H – Photographs of Fort Coombs Armory

**APPENDIX I – Fort Coombs Armory Historic Preservation Report and Facility
Analysis, February 26, 2015**

APPENDIX J – Fire Sprinkler System Design Criteria Package, December 20, 2017

APPENDIX A

PRIOR FUNDING REQUESTS FOR FORT COOMBS ARMORY

The Fort Combs Armory in Apalachicola was originally built by Franklin County in 1901 to replace a previous armory that burned in a fire on May 25, 1900. The armory housed the local militia unit, the Franklin Guards. The armory was sold to the State of Florida in 1911. The building was used as an armory until the Florida National Guard deactivated the local unit. Franklin County leased the building from the State of Florida on April 22, 2009.

Past Renovations to Fort Coombs Armory

- 2012 Reroof the one-story portion of the building and the interior gutters on the two-story portion of the building. Funded by the Franklin County Tourist Development Council. \$224,711.65.
- 2013 Electrical and fire alarm upgrades. Funded by the Franklin County Board of County Commissioners. \$58,172.
- 2014 Lead based paint abatement consultant services and termite treatment. Funded by Franklin County. \$116,844.
- 2015 Replacement of half the windows, installing a central heating and cooling system in the building, building new ADA accessible restrooms, and building a new warming kitchen. Funded by grants from the Franklin County Tourist Development Council (\$586,417.47), the Franklin County Board of County Commissioners (\$89,669.10) and the Florida Division of Historical Resources (\$350,000). \$1,026,086.57.
- 2016 Applied for grant funding from the Florida Division of Historical Resources to continue renovations to the Fort Coombs Armory, including installing a sprinkler system in the building. Grant request was not funded. \$500,000.
- 2017 Leveling the floor in the main hall and installing additional floor supports and replacing the front door. Funded by a grant from the Division of Historical Resources (\$180,000) and funding from the Franklin County Board of County Commissioners (\$24,799). This grant was applied for in 2015. \$204,799.00.

APPENDIX B

FRANKLIN COUNTY TOURIST DEVELOPMENT COUNCIL TAX COLLECTION

2004/2005	\$572,906.85
2005/2006	\$698,261.75
2006/2007	\$752,825.25
2007/2008	\$774,165.83
2008/2009	\$750,890.42
2009/2010	\$754,234.29
2010/2011	\$803,141.28
2011/2012	\$916,058.90
2012/2013	\$978,073.19
2013/2014	\$1,051,612.06
2014/2015	\$1,123,104.56
2015/2016	\$1,202,294.39
2016/2017	\$1,250,725.82
2017/2018	YTD \$223,835.03

Franklin County, Fort Coombs Rehabilitation, Economic Impact Forecast

Provided by Apalachee Regional Planning Council



Franklin County, in preparing applications for grants to support economic development, approached the AFPC for a simple overview of economic impacts to the county that a proposed project may have. This short memo presents outputs of a FEM1 model scenario quantifying the Fort Coombs Rehabilitation, proposed to Triumph Gulf Coast, for a project total of \$2 Million dollars.

The scenario presented integrates construction, amenity value, increased sales, and government expenditures into a four-variable simulation that assesses net Gross Domestic Product (GDP) and job impacts to Franklin, Gulf, and Wakulla counties. Variables utilized include NAICS23 Construction Employment, Non-Recreational Amenity, Increased Sales, and Government Expenditures.

Assessed by this scenario build, the project will generate an additional **\$8.8 Million dollars in Gross Domestic Product (GDP)** and **170 jobs** within Franklin, Gulf, and Wakulla counties by 2042. The GDP-Project Cost **Return on Investment (ROI) is over 4.4 to 1.**

As an impact to local GDP, this project creates a larger ripple within Franklin, Gulf, and Wakulla counties than in Far-West Florida coastal counties. The cumulative impacts within these three Triumph counties, as a percentage of their 2042 projected GDP, is .47%. The cumulative jobs impact within the three counties, as a percentage of total 2042 combined employment, is .8%. If the same absolute numbers were transferred to Escambia County, they would amount to .1% of GDP and .04% of total employment in 2042. As such, the relative impact is quite high in this rural coastal region.

Table 1: Comparative Impacts – Fort Coombs in Rural vs Urbanized Triumph Coastal Counties

Area	Jobs	Total Employment, 2042	Jobs Added as a % of Total Employment 2042	GDP Added	GDP 2042	GDP added as a % of Total GDP 2042
Franklin, Gulf, Wakulla	170	21,465	.8	\$8,827,105	\$1,868,390,000	.472
Escambia	170	187,005	.1	\$8,827,105	\$21,630,000,000	.041

Scenario Methods, Inputs, and Outputs

The scenario selected quantified project inputs across four variables and tallied output as a function of new employment and greater GDP. The first variable input entered building investment as new Construction (NAICS23) jobs, including a compensation rate adjustment¹. The construction project was assumed to last from 2019-2021.

Second, the scenario utilized a Private Sector sales variable to estimate impacts of increased local Accommodation (NAICS72), Retail (NAICS44-45), and Arts, Entertainment, and Recreation (NAICS71) due to the building rehabilitation.

Third, a policy variable was created to capture the amenity value of Fort Coombs (called a Non-Pecuniary Amenity Variable). This was entered as a dollar value in year 2021.

Finally, a variable for Government Spending was utilized to capture the increased revenue flows to the county (and their resulting expenditure) due to heightened building use.

The combined jobs and GDP surplus over a control (which assumed no such activity occurred) is presented in the results section.

Impacts were summed across three Triumph counties: Franklin, Gulf, and Wakulla.

Results

The net jobs added and GDP growth resulting from the project is summarized in the following table:

	Project Total	Inputs	Inputs per year	Total Jobs Added Above Control	GDP Above Control
Fort Coombs (Construction)	\$2,000,000	54,019	18	72.58	\$3,074,188
Fort Coombs (Sales)	N/A	\$3,987,993.23	Variable	35.21	\$1,718,498
Fort Coombs (Amenity)	\$2,000,000	2,000,000	N/A	58.2	\$3,755,111
Fort Coombs (Gov't Spending)	N/A	514,048.55	Variable	4.4	\$279,308
Total				170.4	\$8,827,105

¹ To convert project expenditures into new employment, staff utilized a region-wide average for Construction AAOA entered as a compensation rate adjustment rather than that of Franklin's AAOA, which was low for this project.

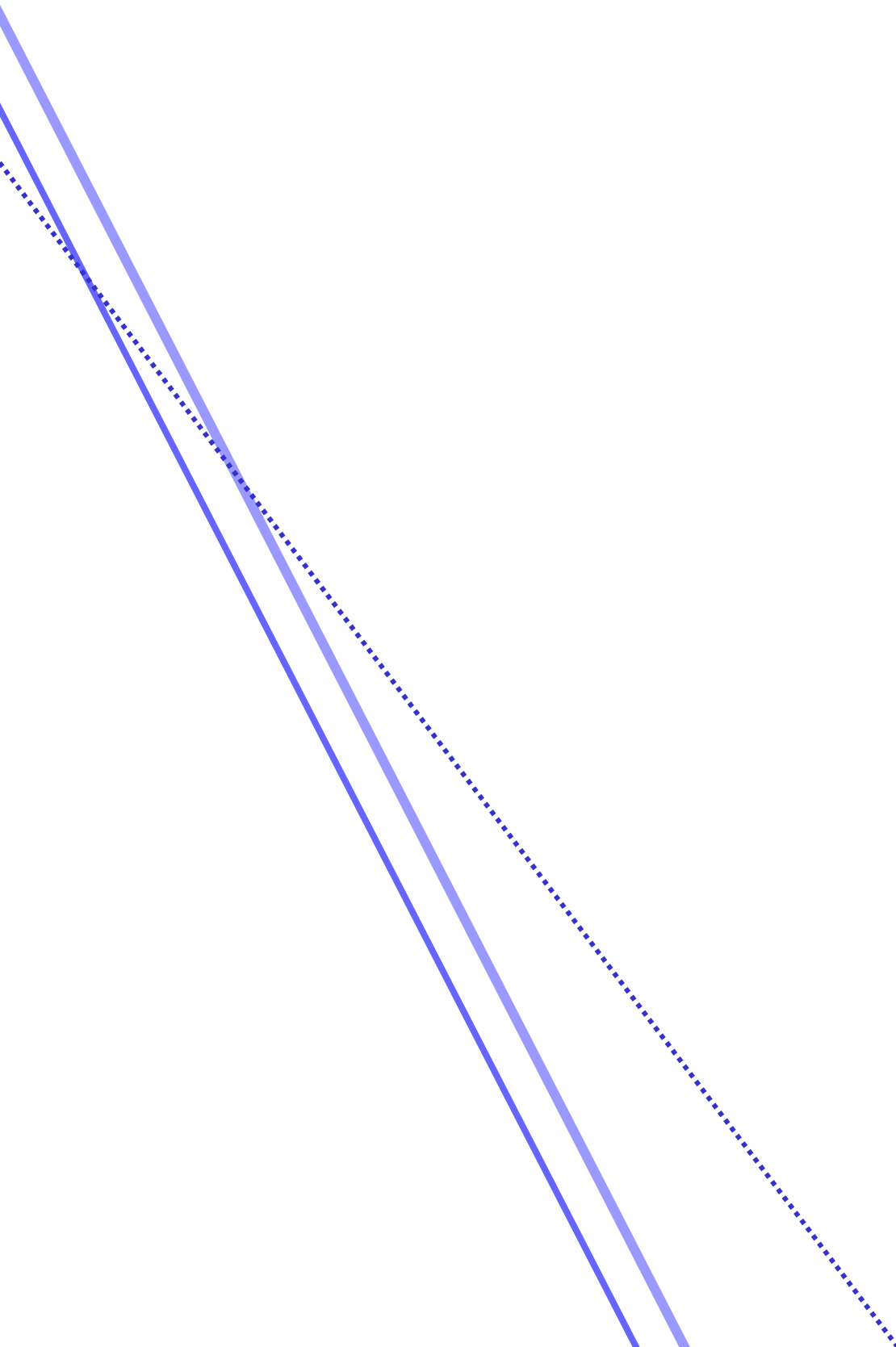
In sum, the FEM model projects that as a result of the current project, a net of **170 jobs and \$8.8 Million dollars of additional gross domestic product** would be created over a twenty-four-year period (2018-2042) from the activity described. The GDP-to-Project Cost FCI for the project is **4.4 : 1** over the twenty-four-year period.

Technical Appendix

The technical appendix presents data from the five excel workbook sheets that include inputs (supplied by Franklin County), transformations, and outputs.

Secondary Analysis Memo

Franklin County, Ft. Coombs Building Rehabilitation



Context

This memo provides an alternate analysis of outputs from a FEMI model scenario of the Ft. Coombs rehabilitation project. Rather than a cumulative jobs and GDP change model – which has the potential to duplicate job gains year-over-year - it assesses short term impacts via average Delta (Δ), or difference between the control and simulation, from project start until 2026. This memo also provides the new average change in Gross Personal Income (GPI) over the same time period.

Table of Outputs

The below table contains outputs describing average Delta between simulation and control outputs from project start to 2026.

Variable (Mean Delta)	Average Δ , project start to 2026
$\mu \Delta$ Employment	17.3
$\mu \Delta$ Gross Domestic Product	830,550
$\mu \Delta$ Personal Income	1,688,858

Discussion

The above table indicates that positive shocks to the local economy, brought about by this project in its near term, produced an average of 17.3 new forms of employment, 830 thousand dollars in positive GDP change, and 1.69 million dollars in positive personal income change. Thus, the project will have a positive effect on the local economy during the period described.

Technical Outputs

The following attachments provide a spreadsheet overview of output from the FEMI model that was used to compile this memorandum's take-aways.

[illegible]

25 Years Construction Projects															Total												
Project Information		Financial Performance Metrics (USD Millions)													Total												
Project ID	Project Name	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Year 11	Year 12	Year 13	Year 14	Year 15	Year 16	Year 17	Year 18	Year 19	Year 20	Year 21	Year 22	Year 23	Year 24	Year 25	
P001	Highway Expansion	12.5	15.2	18.7	21.3	24.8	27.5	30.1	32.9	35.6	38.2	40.9	43.5	46.1	48.7	51.3	53.9	56.5	59.1	61.7	64.3	66.9	69.5	72.1	74.7	77.3	79.9
		10.8	13.1	15.4	17.8	20.1	22.5	24.8	27.1	29.4	31.7	34.0	36.3	38.6	40.9	43.2	45.5	47.8	50.1	52.4	54.7	57.0	59.3	61.6	63.9	66.2	
		9.2	11.5	13.8	16.1	18.4	20.7	23.0	25.3	27.6	29.9	32.2	34.5	36.8	39.1	41.4	43.7	46.0	48.3	50.6	52.9	55.2	57.5	59.8	62.1	64.4	
		7.6	9.9	12.2	14.5	16.8	19.1	21.4	23.7	26.0	28.3	30.6	32.9	35.2	37.5	39.8	42.1	44.4	46.7	49.0	51.3	53.6	55.9	58.2	60.5	62.8	
		6.0	8.3	10.6	12.9	15.2	17.5	19.8	22.1	24.4	26.7	29.0	31.3	33.6	35.9	38.2	40.5	42.8	45.1	47.4	49.7	52.0	54.3	56.6	58.9	61.2	
P002	Bridge Renovation	8.7	10.4	12.1	13.8	15.5	17.2	18.9	20.6	22.3	24.0	25.7	27.4	29.1	30.8	32.5	34.2	35.9	37.6	39.3	41.0	42.7	44.4	46.1	47.8	49.5	51.2
		7.5	9.2	10.9	12.6	14.3	16.0	17.7	19.4	21.1	22.8	24.5	26.2	27.9	29.6	31.3	33.0	34.7	36.4	38.1	39.8	41.5	43.2	44.9	46.6	48.3	
		6.3	8.0	9.7	11.4	13.1	14.8	16.5	18.2	19.9	21.6	23.3	25.0	26.7	28.4	30.1	31.8	33.5	35.2	36.9	38.6	40.3	42.0	43.7	45.4	47.1	
		5.1	6.8	8.5	10.2	11.9	13.6	15.3	17.0	18.7	20.4	22.1	23.8	25.5	27.2	28.9	30.6	32.3	34.0	35.7	37.4	39.1	40.8	42.5	44.2	45.9	
		3.9	5.6	7.3	9.0	10.7	12.4	14.1	15.8	17.5	19.2	20.9	22.6	24.3	26.0	27.7	29.4	31.1	32.8	34.5	36.2	37.9	39.6	41.3	43.0	44.7	
P003	Water Treatment Plant	11.3	13.6	15.9	18.2	20.5	22.8	25.1	27.4	29.7	32.0	34.3	36.6	38.9	41.2	43.5	45.8	48.1	50.4	52.7	55.0	57.3	59.6	61.9	64.2	66.5	68.8
		9.8	12.1	14.4	16.7	19.0	21.3	23.6	25.9	28.2	30.5	32.8	35.1	37.4	39.7	42.0	44.3	46.6	48.9	51.2	53.5	55.8	58.1	60.4	62.7	65.0	
		8.3	10.6	12.9	15.2	17.5	19.8	22.1	24.4	26.7	29.0	31.3	33.6	35.9	38.2	40.5	42.8	45.1	47.4	49.7	52.0	54.3	56.6	58.9	61.2	63.5	
		6.8	9.1	11.4	13.7	16.0	18.3	20.6	22.9	25.2	27.5	29.8	32.1	34.4	36.7	39.0	41.3	43.6	45.9	48.2	50.5	52.8	55.1	57.4	59.7	62.0	
		5.3	7.6	9.9	12.2	14.5	16.8	19.1	21.4	23.7	26.0	28.3	30.6	32.9	35.2	37.5	39.8	42.1	44.4	46.7	49.0	51.3	53.6	55.9	58.2	60.5	
P004	Industrial Facility Upgrade	14.1	17.2	20.3	23.4	26.5	29.6	32.7	35.8	38.9	42.0	45.1	48.2	51.3	54.4	57.5	60.6	63.7	66.8	69.9	73.0	76.1	79.2	82.3	85.4	88.5	91.6
		12.6	15.7	18.8	21.9	25.0	28.1	31.2	34.3	37.4	40.5	43.6	46.7	49.8	52.9	56.0	59.1	62.2	65.3	68.4	71.5	74.6	77.7	80.8	83.9	87.0	
		11.1	14.2	17.3	20.4	23.5	26.6	29.7	32.8	35.9	39.0	42.1	45.2	48.3	51.4	54.5	57.6	60.7	63.8	66.9	70.0	73.1	76.2	79.3	82.4	85.5	
		9.6	12.7	15.8	18.9	22.0	25.1	28.2	31.3	34.4	37.5	40.6	43.7	46.8	49.9	53.0	56.1	59.2	62.3	65.4	68.5	71.6	74.7	77.8	80.9	84.0	
		8.1	11.2	14.3	17.4	20.5	23.6	26.7	29.8	32.9	36.0	39.1	42.2	45.3	48.4	51.5	54.6	57.7	60.8	63.9	67.0	70.1	73.2	76.3	79.4	82.5	
P005	Public Space Development	5.4	6.5	7.6	8.7	9.8	10.9	12.0	13.1	14.2	15.3	16.4	17.5	18.6	19.7	20.8	21.9	23.0	24.1	25.2	26.3	27.4	28.5	29.6	30.7	31.8	32.9
		4.9	6.0	7.1	8.2	9.3	10.4	11.5	12.6	13.7	14.8	15.9	17.0	18.1	19.2	20.3	21.4	22.5	23.6	24.7	25.8	26.9	28.0	29.1	30.2	31.3	32.4
		4.4	5.5	6.6	7.7	8.8	9.9	11.0	12.1	13.2	14.3	15.4	16.5	17.6	18.7	19.8	20.9	22.0	23.1	24.2	25.3	26.4	27.5	28.6	29.7	30.8	
		3.9	5.0	6.1	7.2	8.3	9.4	10.5	11.6	12.7	13.8	14.9	16.0	17.1	18.2	19.3	20.4	21.5	22.6	23.7	24.8	25.9	27.0	28.1	29.2	30.3	
		3.4	4.5	5.6	6.7	7.8	8.9	10.0	11.1	12.2	13.3	14.4	15.5	16.6	17.7	18.8	19.9	21.0	22.1	23.2	24.3	25.4	26.5	27.6	28.7	29.8	
P006	Energy Plant Modernization	16.2	19.3	22.4	25.5	28.6	31.7	34.8	37.9	41.0	44.1	47.2	50.3	53.4	56.5	59.6	62.7	65.8	68.9	72.0	75.1	78.2	81.3	84.4	87.5	90.6	93.7
		14.7	17.8	20.9	24.0	27.1	30.2	33.3	36.4	39.5	42.6	45.7	48.8	51.9	55.0	58.1	61.2	64.3	67.4	70.5	73.6	76.7	79.8	82.9	86.0	89.1	
		13.2	16.3	19.4	22.5	25.6	28.7	31.8	34.9	38.0	41.1	44.2	47.3	50.4	53.5	56.6	59.7	62.8	65.9	69.0	72.1	75.2	78.3	81.4	84.5	87.6	
		11.7	14.8	17.9	21.0	24.1	27.2	30.3	33.4	36.5	39.6	42.7	45.8	48.9	52.0	55.1	58.2	61.3	64.4	67.5	70.6	73.7	76.8	79.9	83.0	86.1	
		10.2	13.3	16.4	19.5	22.6	25.7	28.8	31.9	35.0	38.1	41.2	44.3	47.4	50.5	53.6	56.7	59.8	62.9	66.0	69.1	72.2	75.3	78.4	81.5	84.6	
P007	Healthcare Facility Expansion	9.5	11.6	13.7	15.8	17.9	20.0	22.1	24.2	26.3	28.4	30.5	32.6	34.7	36.8	38.9	41.0	43.1	45.2	47.3	49.4	51.5	53.6	55.7	57.8	59.9	
		8.0	10.1	12.2	14.3	16.4	18.5	20.6	22.7	24.8	26.9	29.0	31.1	33.2	35.3	37.4	39.5	41.6	43.7	45.8	47.9	50.0	52.1	54.2	56.3	58.4	
		6.5	8.6	10.7	12.8	14.9	17.0	19.1	21.2	23.3	25.4	27.5	29.6	31.7	33.8	35.9	38.0	40.1	42.2	44.3	46.4	48.5	50.6	52.7	54.8	56.9	
		5.0	7.1	9.2	11.3	13.4	15.5	17.6	19.7	21.8	23.9	26.0	28.1	30.2	32.3	34.4	36.5	38.6	40.7	42.8	44.9	47.0	49.1	51.2	53.3	55.4	
		3.5	5.6	7.7	9.8	11.9	14.0	16.1	18.2	20.3	22.4	24.5	26.6	28.7	30.8	32.9	35.0	37.1	39.2	41.3	43.4	45.5	47.6	49.7	51.8	53.9	

[illegible][illegible]

FRANKLIN COUNTY BOARD OF COUNTY COMMISSIONERS RESOLUTION

WHEREAS, the Franklin County Board of County Commissioners leases the Fort Coombs Armory from the State of Florida for use as a convention center, and

WHEREAS, Franklin County has spent over \$1.3 million in local and grant funding renovating and upgrading the building to improve its functionality as a convention center, and

WHEREAS, there still remains approximately \$2 million worth of improvements that need to be done on the building, including adding a sprinkler system for fire protection, and

WHEREAS, having the Fort Coombs Armory available as a convention center and meeting space is significant to Franklin County's future as a tourist destination, and

WHEREAS, completion of the necessary renovations and upgrades is necessary to keeping the Fort Coombs Armory open and functioning as a convention center,


NOW, THEREFORE, BE IT RESOLVED BY THE FRANKLIN COUNTY BOARD OF COUNTY COMMISSIONERS that the Triumph grant application for \$2 million to fund the completion of renovations and upgrades to the Fort Coombs Armory is hereby approved and recommended to the Triumph Board by and the Chairman is authorized to sign the said application.

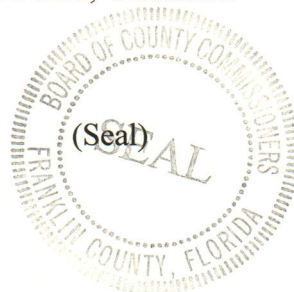
Done this 1st day of May, 2018, at a regular meeting of the Franklin County Board of County Commissioners at Carrabelle, Florida.

FRANKLIN COUNTY
BOARD OF COUNTY COMMISSIONERS

By: 
Joseph A. Parris, Chairman

ATTEST:


Marcia M. Johnson, Clerk



STATE OF FLORIDA

OFFICE OF THE GOVERNOR EXECUTIVE ORDER NUMBER 15-133

WHEREAS, although economic progress has been made in many rural areas, the growth and prosperity enjoyed by most communities in the State during the past 50 years did not extend into Florida's rural areas; and

WHEREAS, these communities are stewards of the vast majority of Florida's land and natural resources, upon which the State's continued growth and prosperity depend; and

WHEREAS, successful rural communities are essential to the overall success of the State's economy and quality of life; and

WHEREAS, certain rural communities are struggling to maintain, support, or enhance job-creating activity, or to generate revenues for education and other critical government services, such as infrastructure, transportation, and safety; and

WHEREAS, the challenges faced by these rural communities threaten their well-being and viability; and

WHEREAS, the Governor is authorized under Section 288.0656(7), Florida Statutes, to designate up to three Rural Areas of Opportunity upon the recommendation of the Rural Economic Development Initiative; and

WHEREAS, a Rural Area of Opportunity, formerly known as a rural area of critical economic concern, is a rural community, or a region composed of rural communities, designated by the Governor, that has been adversely affected by an extraordinary economic event, severe or chronic distress, or a natural disaster, or that presents a unique economic development opportunity of regional impact; and

WHEREAS, the counties of Calhoun, Franklin, Gadsden, Gulf, Holmes, Jackson, Liberty, and Washington were designated as a Rural Area of Opportunity by Executive Order 99-275, dated November 8, 1999, for a term of five years due to being adversely affected by extraordinary economic events. Such extraordinary economic events include the "net ban" constitutional amendment, the closure of the paper mill in Port St. Joe, as well as other plant closures throughout the region. Five of the eight counties in the region were among the second most economically distressed in the state.

WHEREAS, after the original designation expired on November 8, 2004, the Rural Economic Development Initiative met on November 19, 2004, and recommended the Governor re-designate the counties of Calhoun, Franklin, Gadsden, Gulf, Holmes, Jackson, Liberty, and Washington as a Rural Area of Opportunity, and to also add the area within the city limits of Freeport in the designation.

WHEREAS, the counties of Calhoun, Franklin, Gadsden, Gulf, Holmes, Jackson, Liberty, and Washington, and the area within the city limits of Freeport, were designated as a Rural Area of Opportunity for a period of five years by Executive Order 04-250, dated December 6, 2004.

WHEREAS, after the re-designation expired on December 6, 2009, the Rural Economic Development Initiative met on November 19, 2009, and recommended the Governor re-designate the counties of Calhoun, Franklin, Gadsden, Gulf, Holmes, Jackson, Liberty, Wakulla, and Washington, and the area within the city limits of Freeport, as a Rural Area of Opportunity.

WHEREAS, the counties of Calhoun, Franklin, Gadsden, Gulf, Holmes, Jackson, Liberty, and Washington, and the area within the city limits of Freeport, were designated as a Rural Area of Opportunity for a period of five years by Executive Order 10-22, dated January 25, 2010.

Executive Order 10-22 was amended on May 5, 2011, by Executive Order 11-103, to add Wakulla County to the designated Rural Area of Opportunity.

WHEREAS, after the re-designation expired on January 8, 2015, the Rural Economic Development Initiative met on January 16, 2015, and recommended the Governor re-designate the counties of Calhoun, Franklin, Gadsden, Gulf, Holmes, Jackson, Liberty, Wakulla, and Washington, and the area within the city limits of Freeport, as a Rural Area of Opportunity.

NOW, THEREFORE, I, RICK SCOTT, as Governor of Florida, by virtue of the authority vested in me by Article IV, Section 1(a), Florida Constitution, and Section 288.0656(7), Florida Statutes, issue the following Executive Order, effective immediately:

Section 1. The area within the boundaries of the counties of Calhoun, Franklin, Gadsden, Gulf, Holmes, Jackson, Liberty, Wakulla, and Washington, and the area within the city limits of Freeport, is designated as a Rural Area of Opportunity.

Section 2. This area shall be a priority assignment for the Rural Economic Development Initiative.

Section 3. On a case-by-case basis, the criteria, requirements, or similar provisions of economic development incentives may be waived. Such incentives include, but shall not be limited to, the Qualified Target Industry Tax Refund Program under Section 288.106, Florida Statutes, the Quick Response Training Program under Section 288.047, Florida Statutes, the Quick Response Training Program for participants in the welfare transition program under Section 288.047(8), Florida Statutes, transportation projects under Section 339.2821, Florida Statutes, the brownfield redevelopment bonus refund under Section 288.107, Florida Statutes, and the rural job tax credit program under Sections 212.098 and 220.1895, Florida Statutes.

Section 4. Access to the assistance available under this designation as a Rural Area of Opportunity shall be contingent upon the execution of a Memorandum of Agreement between the Department of Economic Opportunity, the governing bodies of the counties, and the governing bodies of the municipalities included within the area. Such Memoranda of Agreement shall specify the terms and conditions of the designation, including, but not limited to, the duties and responsibilities of the counties and municipalities to take actions designed to facilitate the retention and expansion of existing businesses in the area, as well as the recruitment of new businesses to the area.

Section 5. This designation shall be in effect for five years and will expire on July 8, 2020, but shall be reviewed by the Rural Economic Development Initiative annually. The Rural Economic Development Initiative may recommend that the designation be terminated or continued based on economic development progress from current base lines or upon performance under the Memoranda of Agreement.



IN TESTIMONY WHEREOF, I have hereunto set my hand and caused the Great Seal of the State of Florida to be affixed at Tallahassee this 8th day of July, 2015.


GOVERNOR

ATTEST:


SECRETARY OF STATE

FILED
2015 JUL -8 AM 9:37
DEPARTMENT OF STATE
TALLAHASSEE, FLORIDA



18 April 2018

Mr. Mark C. Curenton
County Planner
Franklin County Planning, Zoning & Building Department
34 Forbes Street, Suite 1
Apalachicola, Florida 32320

Reference: **Fort Coombs Armory Convention Center Renovations**
TGC Funding: Probable Project Cost Judgment Allowance (Revised)
EMO Project No. 16736.715.03 / File 818.03
Delivered via email: markc@franklincountyflorida.com

Dear Mr. Curenton:

We appreciate the opportunity to be of continued service to the Franklin County Board of County Commissioners (FCBOCC). Pursuant to your request, we have developed a proposed Total Probable Project Cost Judgment (PPCJ) that could be utilized as the basis for the TGC Funding based upon the approved Master Renovation Program dated 18 February 2014. A copy of which is attached hereto for ready reference.

Please find attached the Probable Project Cost Judgment (PPCJ) Allowance labeled Exhibit 'A', revision date 18 April 2018. The PPCJ Allowance delineates the proposed scope of work items for the project site, the building exterior and the building interior.

We appreciate the opportunity to be of continued service to Franklin County. If you have any questions, please contact us at your earliest convenience.

Sincerely,

EMO

A handwritten signature in blue ink, appearing to read "Warren A. Emo", is written over a large, hand-drawn blue circle. The signature is stylized and overlaps the circle.

Warren A. Emo, AIA, NCARB, CGC
President

Attachments

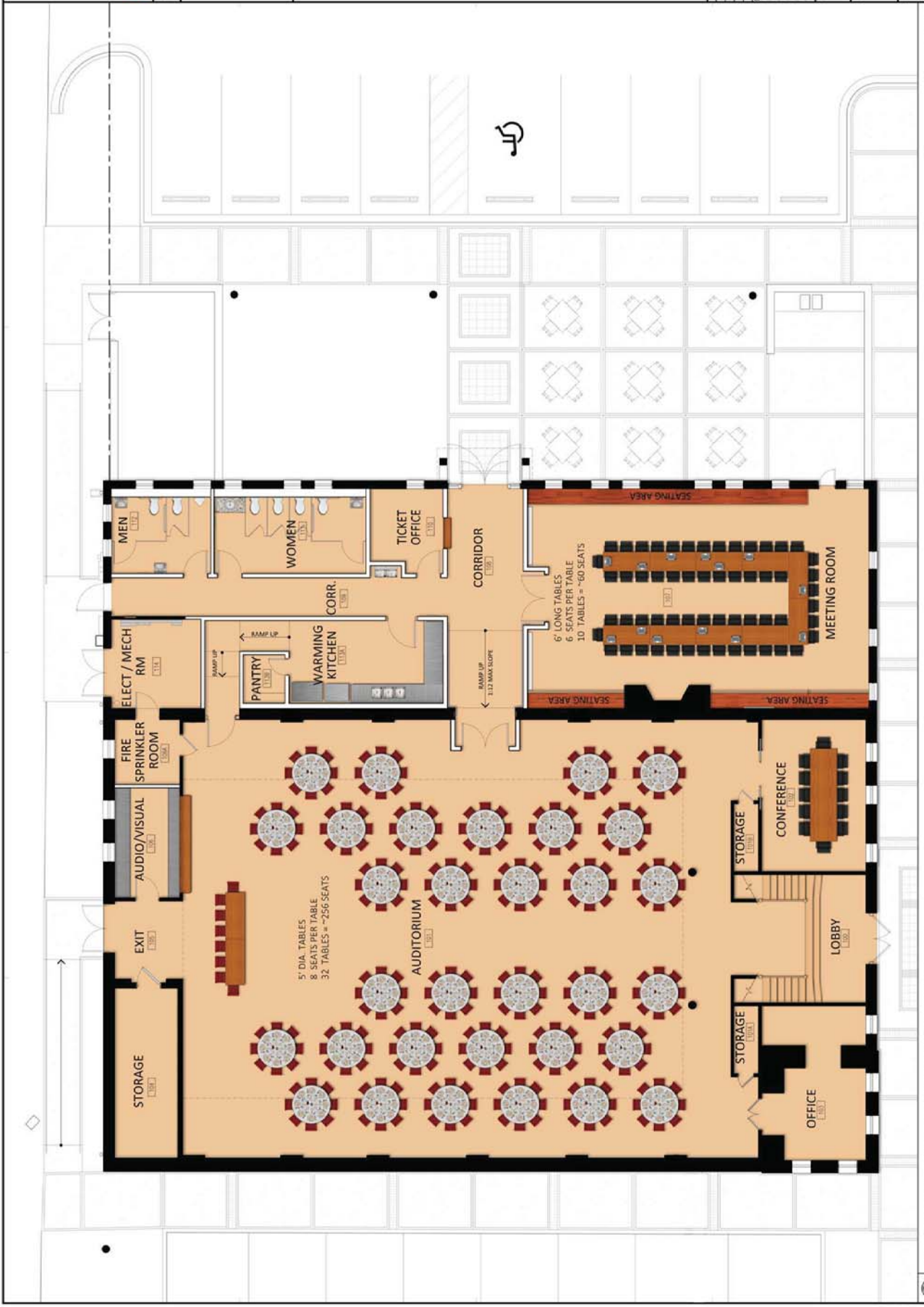
EXHIBIT 'A'

Ft. Coombs Armory and Convention Center
Apalachicola, Florida
Probable Project Cost Judgment: TGC Funding Allowance
EMO # 16738.715.03 / File 818.03
16 April 2018 (REVISED 18 April 2018)

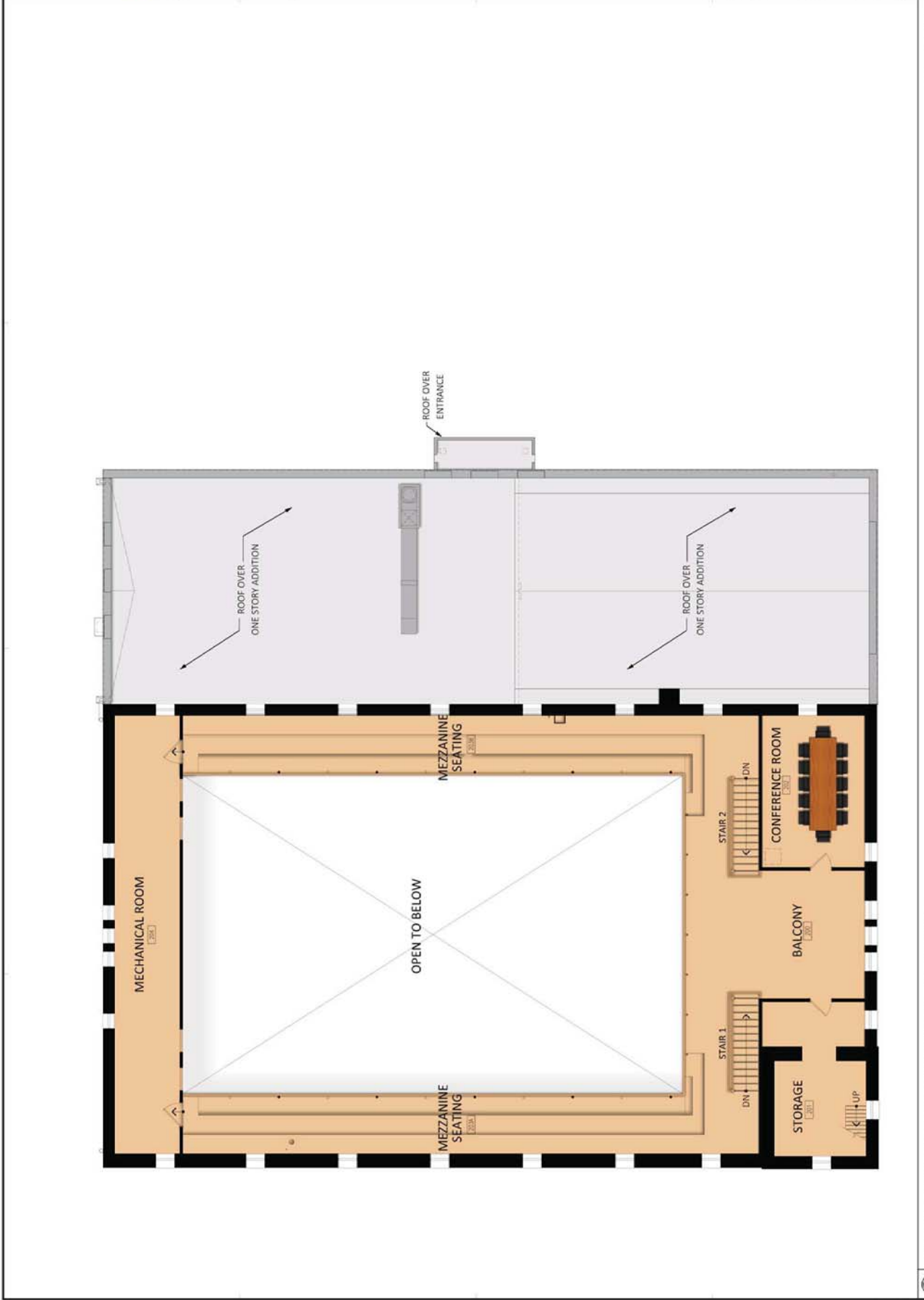


Item	Description	Cost / Allowance
	<i>Site Development Allowances</i>	
1	Demolition of existing storage sheds, fencing and hardscape	By County
2	New Parking Lot with new curbing and stormwater structures	\$ 109,326.00
3	New Court Yard and Sidewalks with ADA Ramp	\$ 36,567.00
4	Exterior Cooking Area	\$ 23,253.00
6	Parking Lot and Court Yard Lighting	Duke Lease
7	New Landscaping and Irrigation	\$ 39,500.00
	<i>Building Exterior Allowances</i>	
8	New Main Hall Roofing	\$ 200,000.00
9	Exterior Wall Paint and Sealants	\$ 79,750.00
10	Historic Window Refurbishment	\$ 96,000.00
	<i>Building Interior Allowances</i>	
12	New Automatic Fire Sprinkler System	\$ 330,000.00
13	Main Hall Wood Repairs	\$ 26,615.00
14	Main Hall LBP Remediation	\$ 38,350.00
15	Main Hall Light Fixtures and Electrical Upgrades	\$ 59,225.00
16	Main Hall Floor Repairs and Re-Finishing	\$ 34,500.00
17	Cooridor 108 Renovations and New ADA Ramp to Main Hall	\$ 122,500.00
18	Meeting Room 107 Renovations (New Finishes, HVAC and Electrical)	\$ 218,950.00
20	Room 102 Renovations (LBP Mitigation, New Paint, Electrical)	\$ 24,437.00
22	Main Hall Acoustical Treatment	\$ 120,668.00
	<i>Soft Costs Allowances</i>	
24	Architectual and Engineering Fees and Costs	\$ 337,000.00
25	Project Contingency	\$ 100,000.00
	Total Probable Project Cost Judgment Allowance	\$ 1,996,641.00





ILLUSTRATIVE FIRST FLOOR PLAN - OPTION 'B'

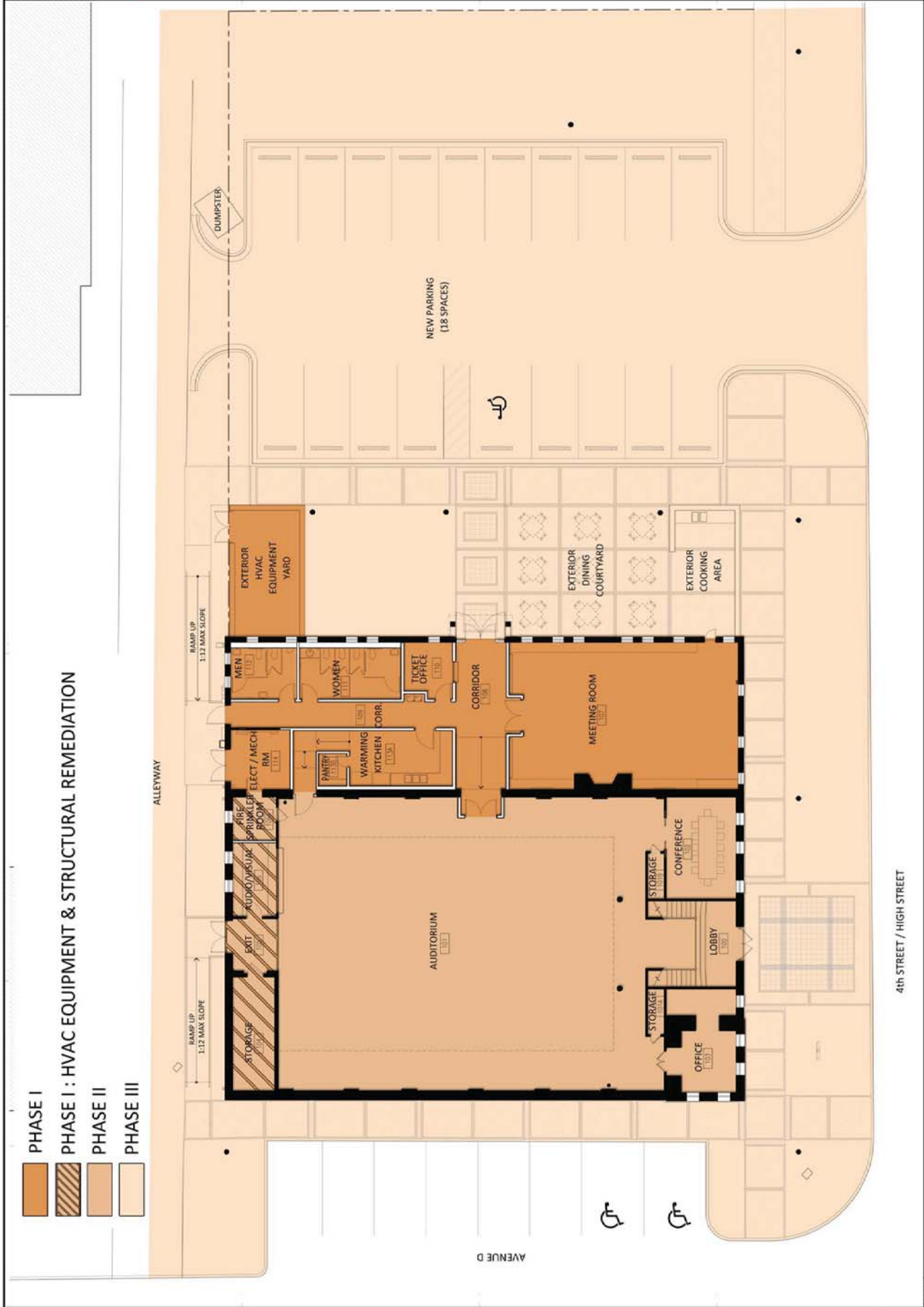


ILLUSTRATIVE SECOND FLOOR PLAN - OPTION 'B'

SCALE: 3/16" = 1'-0"

18 FEBRUARY 2014

A102A





20 April 2018

Mr. Mark C. Curenton
County Planner
Franklin County Planning, Zoning & Building Department
34 Forbes Street, Suite 1
Apalachicola, Florida 32320

Reference: **Fort Coombs Armory Convention Center Renovations**
TGC Funding: Probable Project Cost Judgment Allowance
Probable Project Schedule
EMO Project No. 16736.715.03 / File 818.03
Delivered via email: markc@franklincountyflorida.com

Dear Mr. Curenton:

We appreciate the opportunity to be of continued service to the Franklin County Board of County Commissioners (FCBOCC). Pursuant to your request, EMO anticipates a twenty-one (21) month design and construction schedule from the date of a "Notice to Proceed" from Franklin County for the full scope of construction.

- | | | |
|----|--|--------------------|
| 1) | Architectural / Engineering Design Services | Six (6) Months |
| 2) | Subcontractor Bidding and Project Permitting | Three (3) Months |
| 3) | Project Construction | Twelve (12) Months |

We appreciate the opportunity to be of continued service to Franklin County. If you have any questions, please contact us at your earliest convenience.

Sincerely,

EMO

Warren A. Emo, AIA, NCARB, CGC
President

APPENDIX H
PHOTOGRAPHS OF FORT COOMBS ARMORY



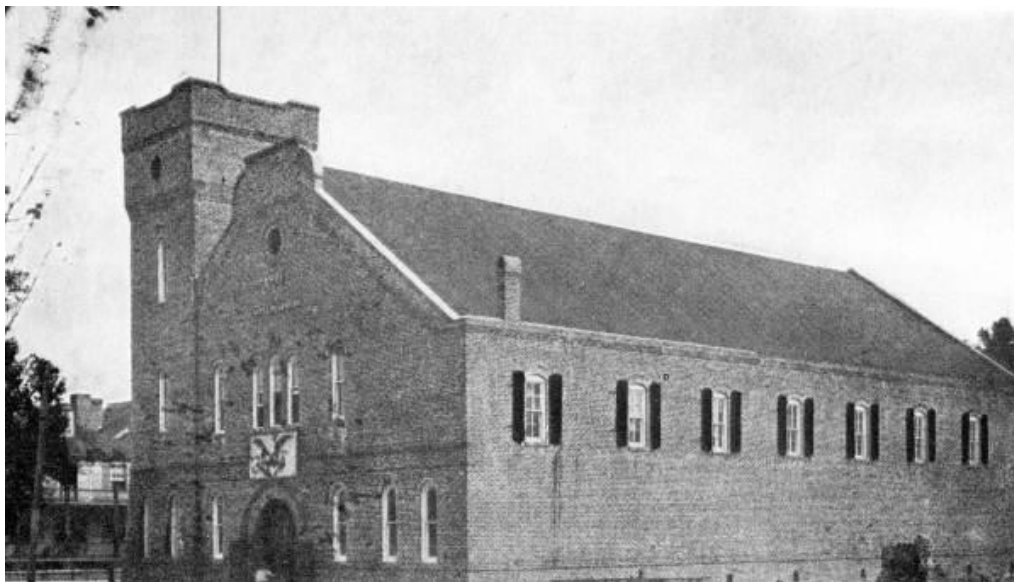
Photograph #1 – Fort Coombs Armory circa 1906. This photograph was taken prior to the erection of the water tower at the intersection of 6th Street and Avenue D. Photograph from Florida Memory, image number RC09813.



Photograph #2 – Fort Coombs Armory circa 1909. Photograph from Florida Memory, image number RC07955.

APPENDIX H

PHOTOGRAPHS OF FORT COOMBS ARMORY

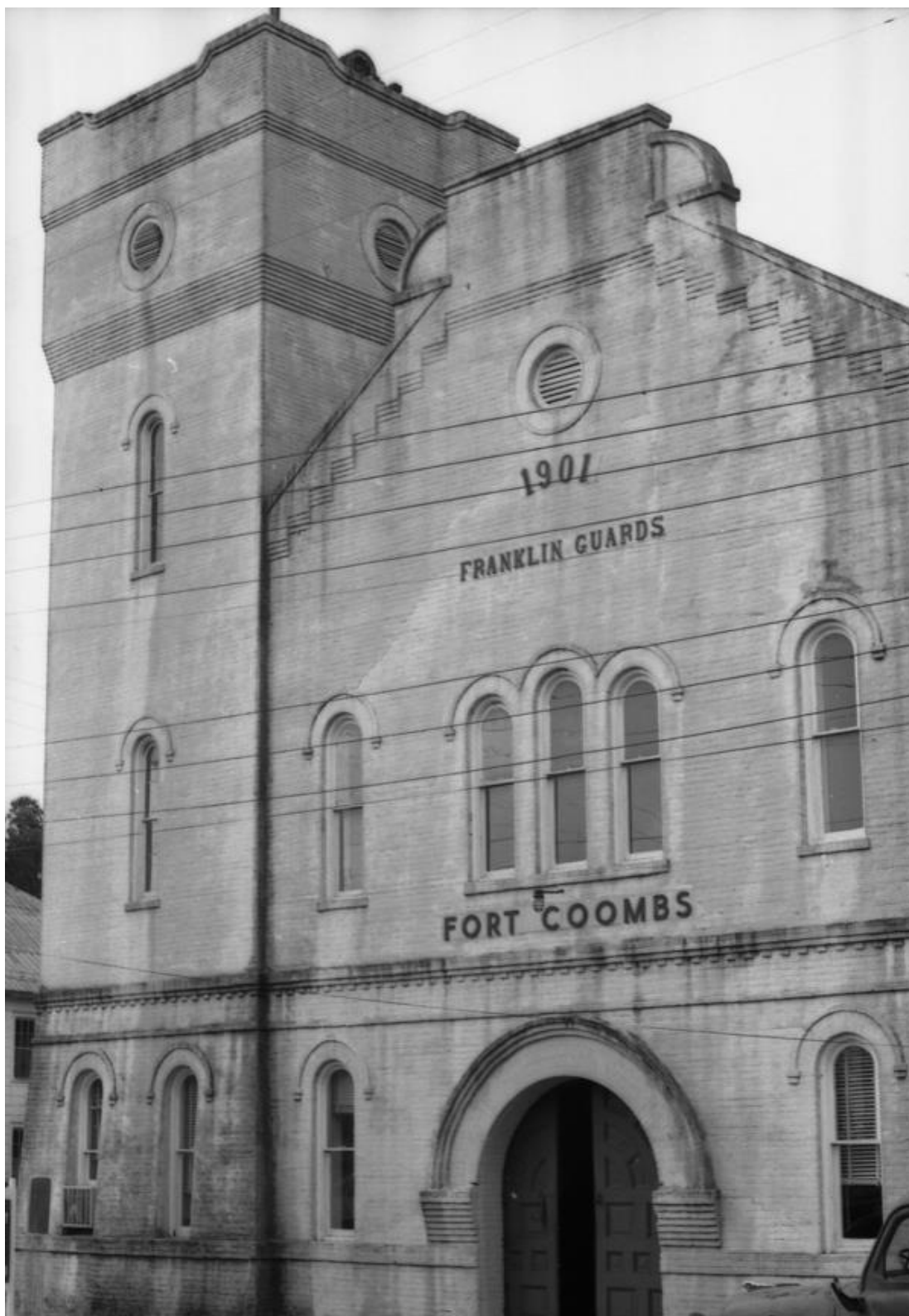


Photograph #3 – Fort Coombs Armory circa 1920s. Photograph from Florida Memory, image number RC09477.



Photograph #4 – Fort Coombs Armory circa 1944. Photograph from Florida Memory, image number RC09470.

APPENDIX H
PHOTOGRAPHS OF FORT COOMBS ARMORY



Photograph #5 – Fort Coombs Armory circa 1963. Photograph from Florida Memory, image number TD01516G.

APPENDIX H
PHOTOGRAPHS OF FORT COOMBS ARMORY



Photograph #6: - Fort Coombs Armory 4th Street elevation.



Photograph #7: Fort Coombs Armory Avenue D elevation.

APPENDIX H
PHOTOGRAPHS OF FORT COOMBS ARMORY



Photograph #8 – Fort Coombs Armory southwest elevation.



Photograph #9 – Fort Coombs Armory northwest elevation.

APPENDIX H

PHOTOGRAPHS OF FORT COOMBS ARMORY



Photograph #10 – Interior of Fort Coombs Armory looking toward the rear of the main hall.



Photograph #11 – Interior of Fort Coombs Armory looking toward the entrance.

APPENDIX H
PHOTOGRAPHS OF FORT COOMBS ARMORY



Photograph # 12 – Example of needed wood repairs in the main hall.



Photograph # 13 – Rotten tread on the stairs inside the Armory that must be repaired.

APPENDIX H

PHOTOGRAPHS OF FORT COOMBS ARMORY



Photograph # 14 – Interior of the Company Room in Fort Coombs. This room will be renovated, with the entry door relocated and the ceiling replaced.



Photograph # 15 – The side corridor showing the ramp leading up to the main hall. The entry door to the Company Room on the left will be relocated to accommodate the new ramp.

APPENDIX H
PHOTOGRAPHS OF FORT COOMBS ARMORY



Photograph #16 – Typical window on the upper level of the main hall of Fort Coombs Armory which will be repaired.

APPENDIX H
PHOTOGRAPHS OF FORT COOMBS ARMORY



Photograph #17 – Exterior view of a window on the northwest façade of the Fort Coombs Armory that will be repaired. Parts of the sash and frame have rotted away since it was originally built.

APPENDIX H
PHOTOGRAPHS OF FORT COOMBS ARMORY



Photograph # 18 – View of the courtyard which will be renovated into a parking area and an outdoor cooking and seating area.



FORT COOMBS

ARMORY AND CONVENTION CENTER
HISTORIC PRESERVATION REPORT

&

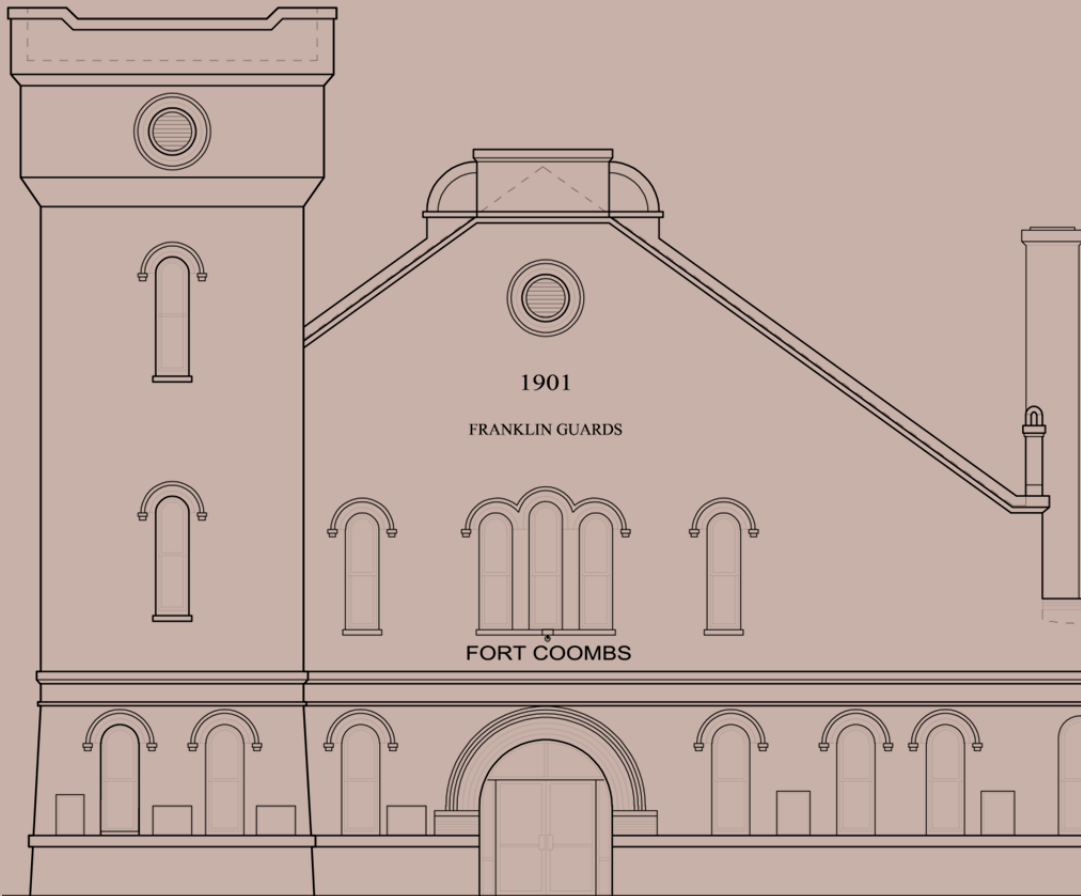
FACILITY ANALYSIS

FOR

FRANKLIN COUNTY

BOARD OF COMMISSIONERS

APALACHICOLA, FLORIDA



EMO
ARCHITECTS, INC.

26 FEBRUARY 2015





FORT COOMBS

ARMORY AND CONVENTION CENTER

Prepared By

EMO/ARCHITECTS, INC.

1126 Thomasville Road

Tallahassee, FL 32303-6272

Phone: 850.222.8000

Fax: 850.222.8007

Email: WEemo@emocompanies.com

Copyright © 2015 EMO/ARCHITECTS, INC.

This document and any reproduction are the property and copyright of EMO/ARCHITECTS, INC.
and may not be reproduced, published or used in any manner without the written permission of the Architect.

EMO Project Number: 137.11
26 FEBRUARY 2015





FORT COOMBS

ARMORY AND CONVENTION CENTER

TABLE OF CONTENTS

<u>TAB</u>	<u>TOPIC</u>	<u>PAGE NO.</u>
1	SITE LOCATION	1
2	EXISTING STRUCTURE	2
3	THE PROJECT	12

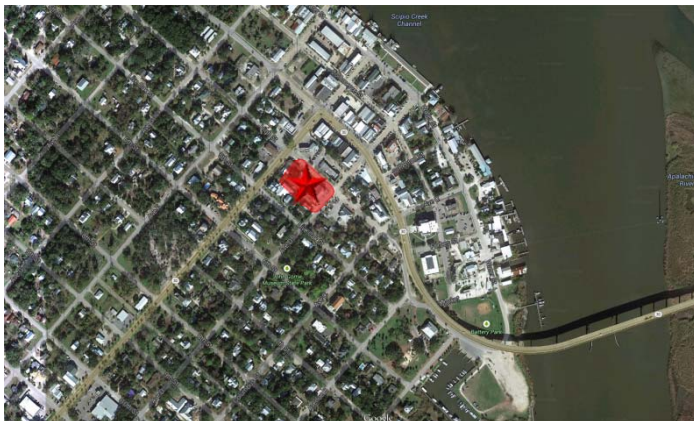
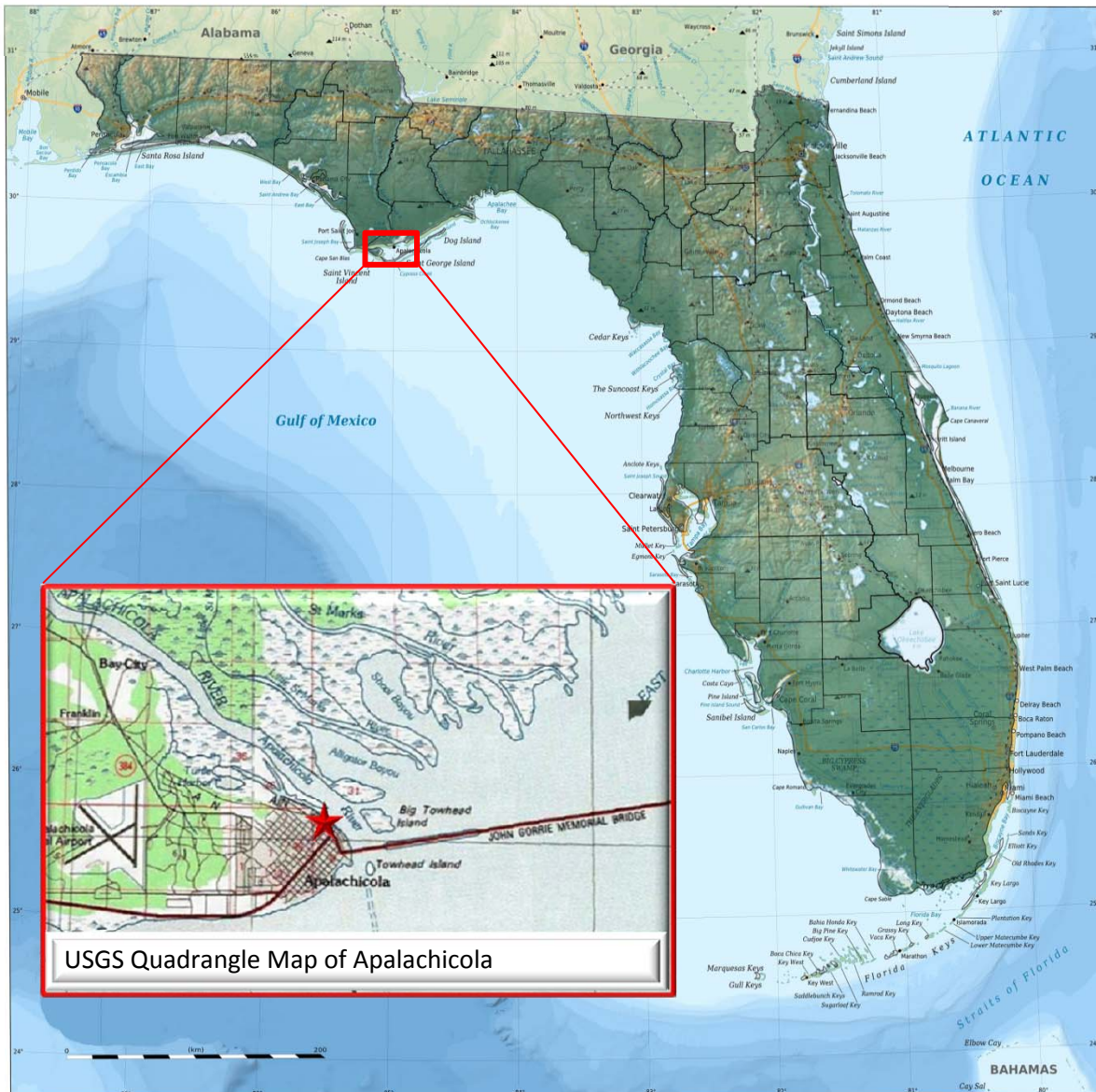




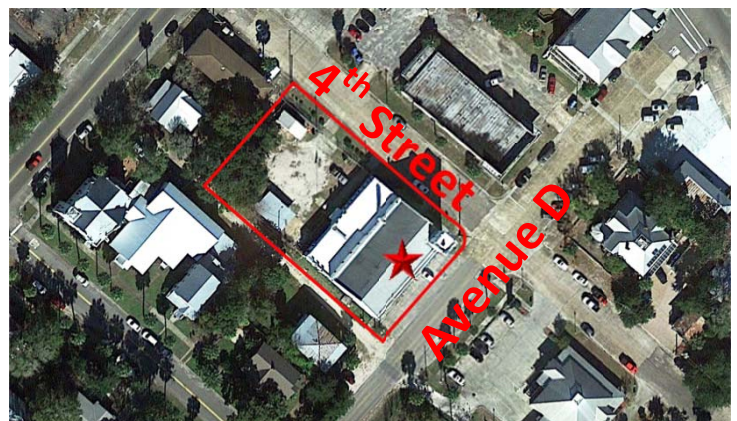
FORT COOMBS

ARMORY AND CONVENTION CENTER

SITE LOCATION MAP



Aerial of Apalachicola



Project Location – 66 4th Street



FORT COOMBS

ARMORY AND CONVENTION CENTER

THE EXISTING STRUCTURE

The building style is termed “Castellated”, a variation of the Romanesque and Gothic Revival, and conveys a fortress-like appearance. The building is constructed of multi-wythe unreinforced brick load bearing walls. The Main Hall roof structure is old growth heart pine heavy timber scissor trusses set 12’ on center. The Main Hall floor structure is also heart pine joists supported at endwalls and three interior continuous brick foundations. The Main Hall structural elements are in good condition with the exception of repaired exterior wall cracks and sagging floor conditions that appear to be caused by the failure of the brick foundation system in several locations. This condition has developed over several decades and corrective measures must be evaluated by a structural engineer. The North Wing roof and floor systems are common wood framed with dimensional lumber.

The first floor of the Main Hall consists of two front offices, a rear area storage room and storage vault and the “Drill Hall” extending the full height of the Building. Paired wood stairs lead to the second floor lobby, adjacent office and access to the Tower. A mezzanine assembly running along the north and south side leads from the second floor lobby to the abandoned Indoor Firing Range at the rear of the building. The mezzanine hangs from the roof structure by 2” diameter metal piping bolted to the mezzanine and roof structural framing.

The existing Main Hall and North Wing has no central HVAC system. Window units are currently installed for use in the Main Hall individual offices and the North Wing meeting room. The existing toilets are not ADA compliant nor do they meet occupancy standards.

Lead based paint (LBP) materials have been identified in the facility and LBP has been found on the exterior windows, interior wall finishes and areas of wood flooring. The LBP material must be abated in accordance with Federal, State and Local regulations by a licensed Florida Abatement Contractor prior to commencing any construction activities. The Project Manual includes specification section 020750 LBP Abatement and IAQ Remediation which identifies the LBP material and abatement procedures to be followed.

In February 2013, the existing North Wing Sprayed Polyurethane Form (SPF) roofing system was replaced with a new single-ply membrane roofing system. The roof replacement project also corrected the deteriorated gutter system of the Main Hall building. The deteriorated SPF roofing system allowed water intrusion which caused extensive interior damage along the northwest section of the North Wing. The water intrusion damaged sections of the roof framing and sheathing which was corrected during the roof replacement project. The water intrusion also damaged sections of the floor joists along the perimeter of the northwest exterior wall. New upgrades to the electrical panels, electrical service, Life Safety and Fire Alarm systems were performed with the roof replacement project.

In February 2014, Franklin County contacted Florida Pest Control to perform a building inspection and found the presence of subterranean termites and evidence of drywood termites. In March 2014, Franklin County contracted with Florida Pest Control in the amount of \$22,161 to treat the Main Hall and North Wing and place the building on a Termite Protection Bond Program. The treatment was completed and the building was cleared 3 April 2014. The termite damage does not appear to have seriously damaged the structural integrity of the building.



FORT COOMBS

ARMORY AND CONVENTION CENTER

THE EXISTING STRUCTURE



The Ft. Coombs Armory/Convention Center is located at 66 4th Street, Apalachicola, Florida. The property, 100' by 90', consists of Lot 1 and the southeast half of Lot 2, Block 9.



Circa 1901



Circa 2013

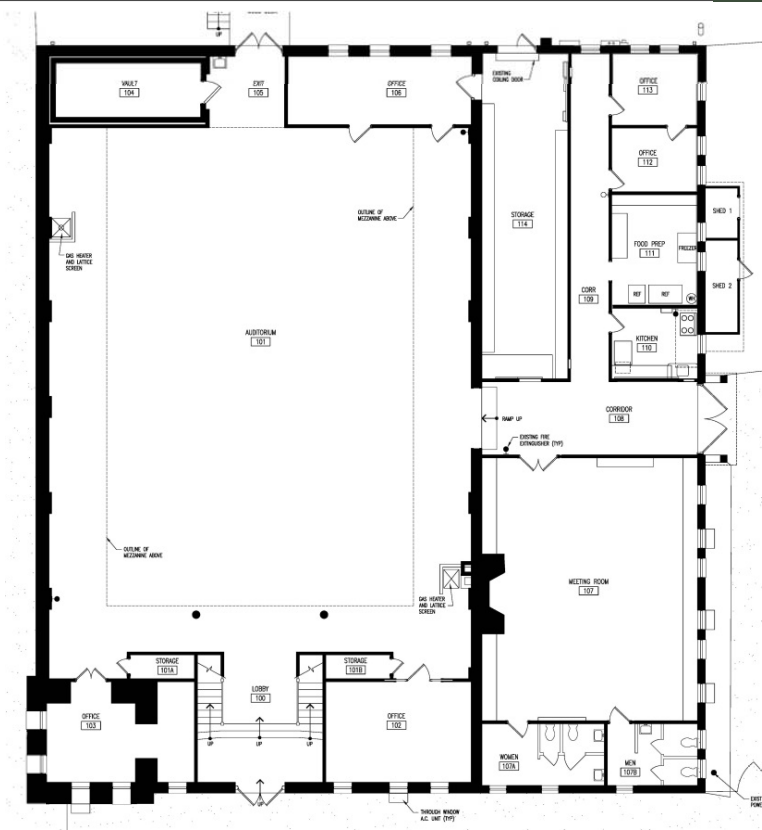


FORT COOMBS

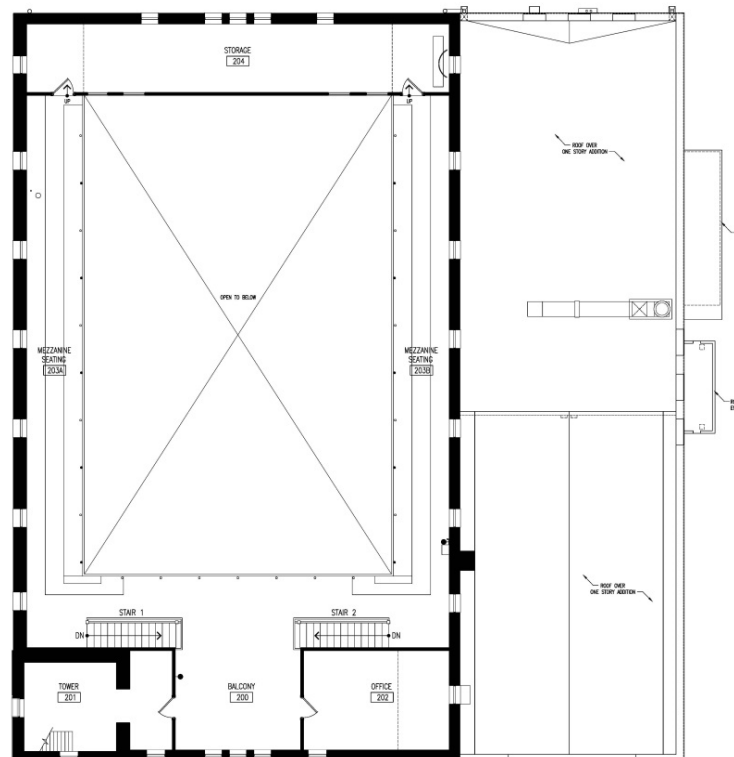
ARMORY AND CONVENTION CENTER

THE EXISTING STRUCTURE

FIRST FLOOR



SECOND FLOOR

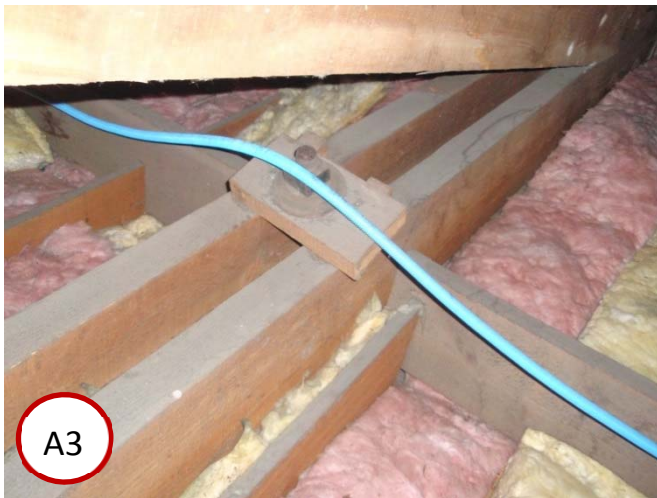




FORT COOMBS

ARMORY AND CONVENTION CENTER

THE EXISTING STRUCTURE



- A1 – The Main Hall roof structure is old growth heart pine heavy timber scissor trusses set 12' on center.
A2 – Gable end of Main Hall structure.
A3 – Typical Bolted Support for second floor mezzanine below.
A4 – Typical truss and exterior wall condition.



FORT COOMBS

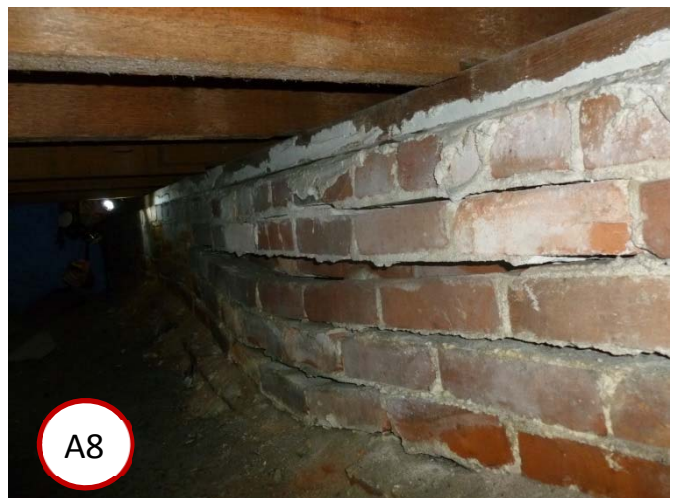
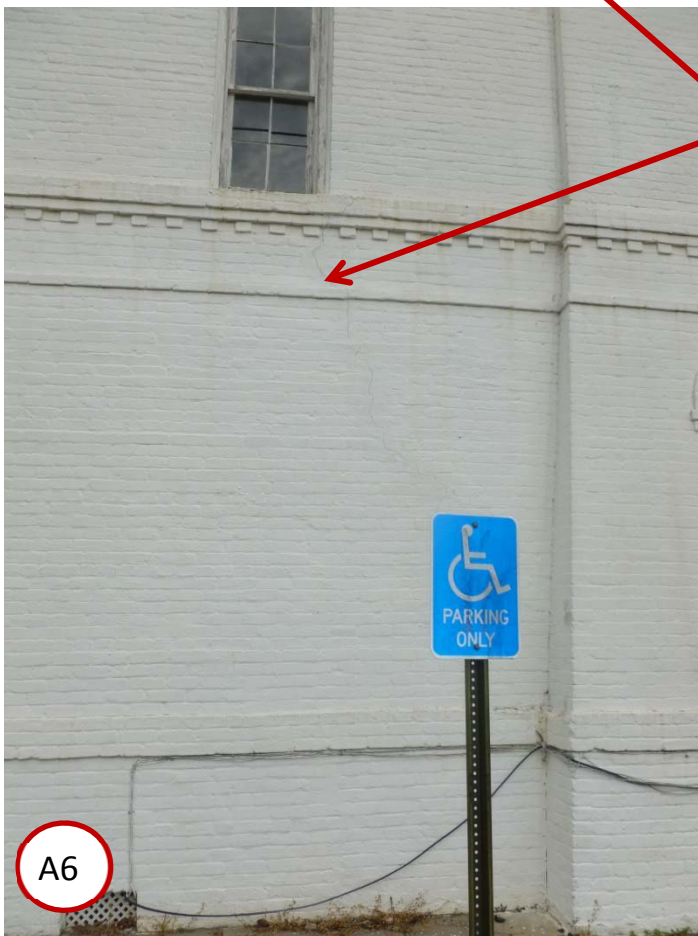
ARMORY AND CONVENTION CENTER

THE EXISTING STRUCTURE



The Main Hall floor structure is also heart pine joists supported at endwalls and three interior continuous brick foundations.

The Main Hall structural elements are in good condition with the exception of repaired exterior wall cracks (A5 and A6) and sagging floor conditions that appear to be caused by the failure of the brick foundation system in several locations. (A7 and A8)





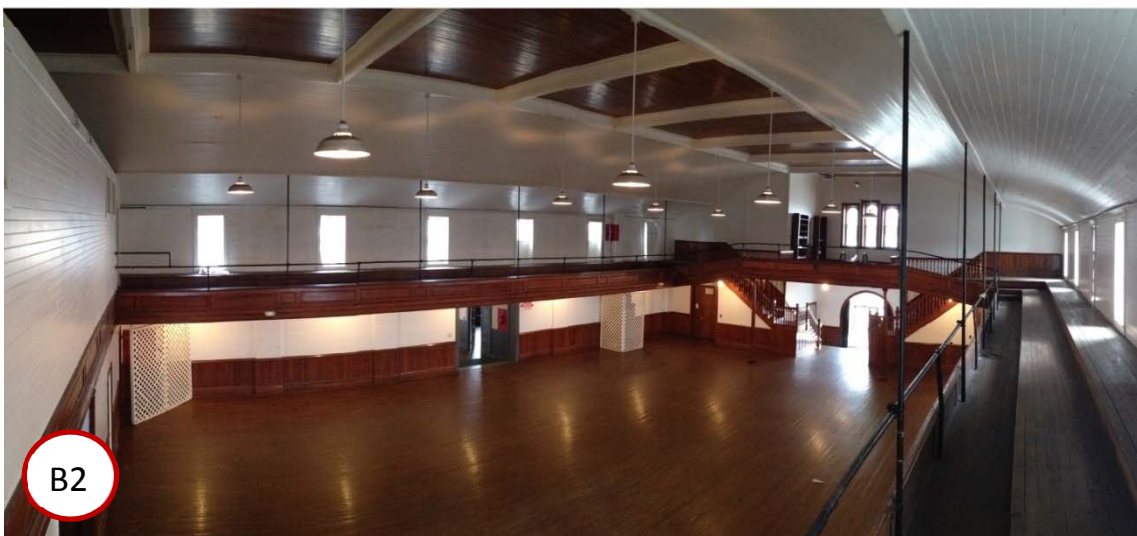
FORT COOMBS

ARMORY AND CONVENTION CENTER

THE EXISTING STRUCTURE



A mezzanine assembly running along the north and south side leads from the second floor lobby to the abandoned Indoor Firing Range at the rear of the building.



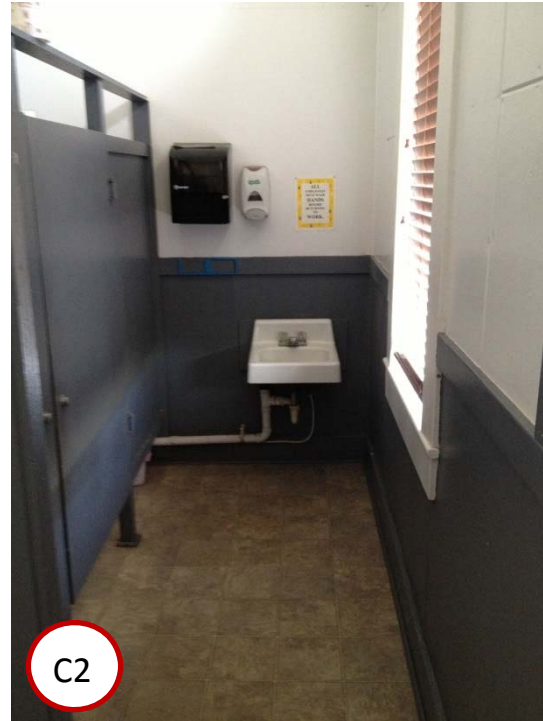
The mezzanine hangs from the roof structure by 2" diameter metal piping bolted to the mezzanine and roof structural framing.



FORT COOMBS

ARMORY AND CONVENTION CENTER

THE EXISTING STRUCTURE - TOILET FACILITIES (NON-ADA)



The existing toilets are not ADA compliant nor do they meet occupancy standards.

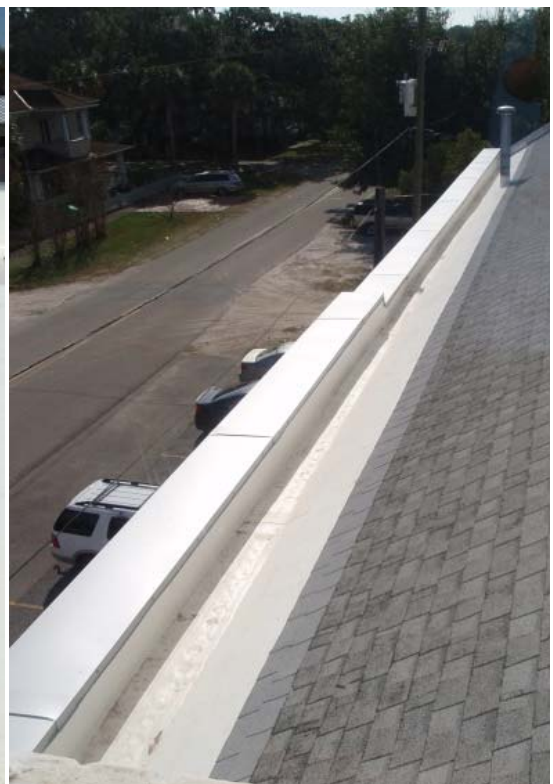
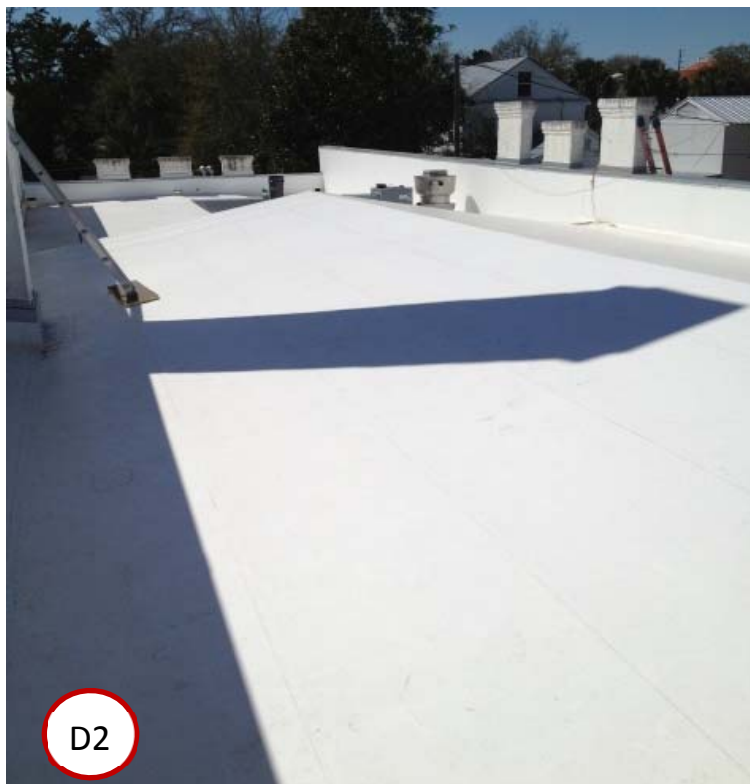


FORT COOMBS

ARMORY AND CONVENTION CENTER

THE EXISTING STRUCTURE

NORTH WING ROOF



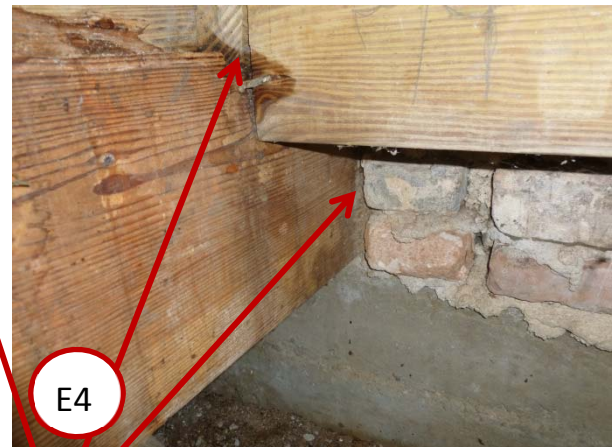
In February 2013, the existing North Wing Sprayed Polyurethane Form (SPF) roofing system (D1) was replaced with a new single-ply membrane roofing system (D2). The roof replacement project also corrected the deteriorated gutter system of the Main Hall building.



FORT COOMBS

ARMORY AND CONVENTION CENTER

THE EXISTING STRUCTURE – WATER DAMAGE



Water damaged walls and floor joists caused by previous roof water leaks.



FORT COOMBS

ARMORY AND CONVENTION CENTER

THE EXISTING STRUCTURE – TERMITE DAMAGE



In February 2014, Franklin County contacted Florida Pest Control to perform a building inspection and found the presence of subterranean termites and evidence of drywood termites. The structure was treated and cleared 3 April 2014.



FORT COOMBS

ARMORY AND CONVENTION CENTER

THE NEW PROJECT- OVERVIEW

The Main Hall is designated and utilized as a convention center for Franklin County residents and the existing toilets are not ADA compliant nor do they meet occupancy standards. The current renovation Base Bid includes construction of new a HVAC system for the Main Hall. The project also includes an Add Alternate for construction of new ADA compliant toilet facilities and their associated HVAC upgrades in the North Wing.

The project also includes an Add Alternate for Historic Window Restoration of windows on the East elevation and all windows of the watch tower. Due to the deteriorated nature of the window assemblies, missing window sections, the OSHA and DEP regulations regarding abatement of LBP materials and the Building Code coastal requirements for impact-resistant openings, the project includes an Alternate to Replace the designated windows. The windows selected as the basis of design, Pella Architect, Rectangular and Half Circle Head Units, Single Hung Windows, match the original windows in style and appearance while providing modern standards of durability and function.

The existing interior wood trim, wood ceilings and wall board finishes located in the North Wing renovation area contains LBP and shall be removed in conjunction with the removal of the selected windows in accordance with the project specification section 020750. The existing interior corridor wood wall framing shall remain and additional roof support framing shall be constructed. New gypsum wall board shall be installed over the existing wall framing to create a one-hour rated corridor assembly. The new wood trim and wall / ceiling bead finishes are to match the existing wood trim and bead board in the Main Hall to maintain the historic characteristic of the original construction. The new doors shall be paneled to match the historic pocket doors and the new door trim shall match the existing trim in the Main Hall.

The existing wood floors in the existing storage and office areas of the North Wing renovation area contain LBP and shall be properly removed. The wood floors in the corridors contain no LBP and shall remain. The remaining wood floors shall be refinished in accordance with the National Wood Flooring Association Guidelines.

The existing exterior structure connected to the northwest wall of the North Wing shall be removed along with the existing concrete slab located next to the alleyway to allow construction of the new HVAC condenser equipment yard. This exterior structure is an abandoned personnel shower unit and is not a part of the historic construction.

The new Main Hall HVAC equipment is to be located in the old "Indoor Firing Range" on the second floor of the Main Hall. The existing room contains LBP material which shall be completely removed and new wall, ceilings and floor finishes installed. The existing floor framing assembly does not meet current Building Code standards and shall be replaced with a new floor framing assembly. The HVAC ductwork shall be installed in the attic space above the coffered ceiling of the Main Hall.

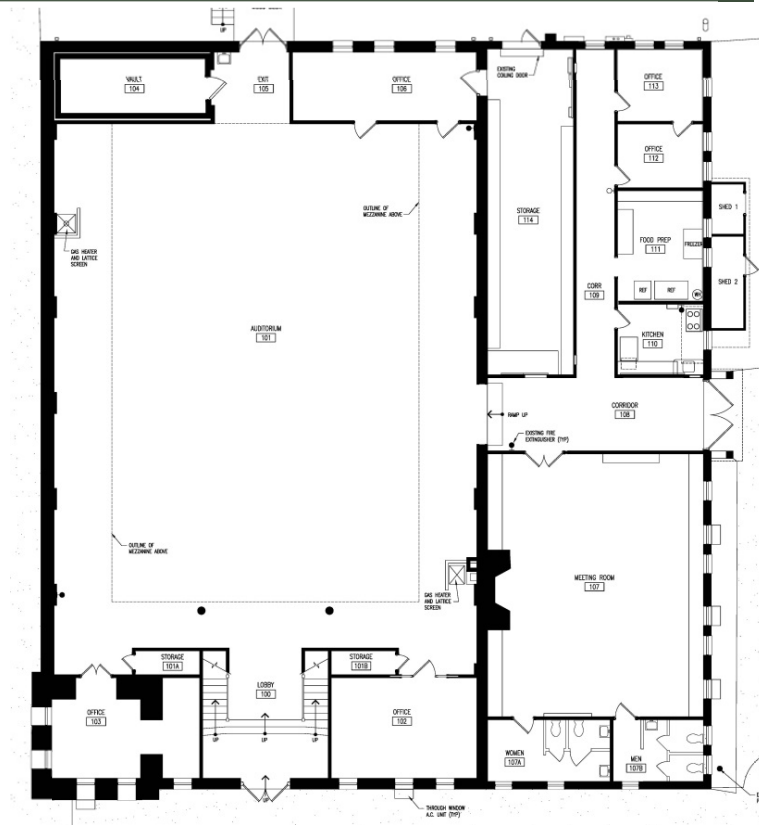


FORT COOMBS

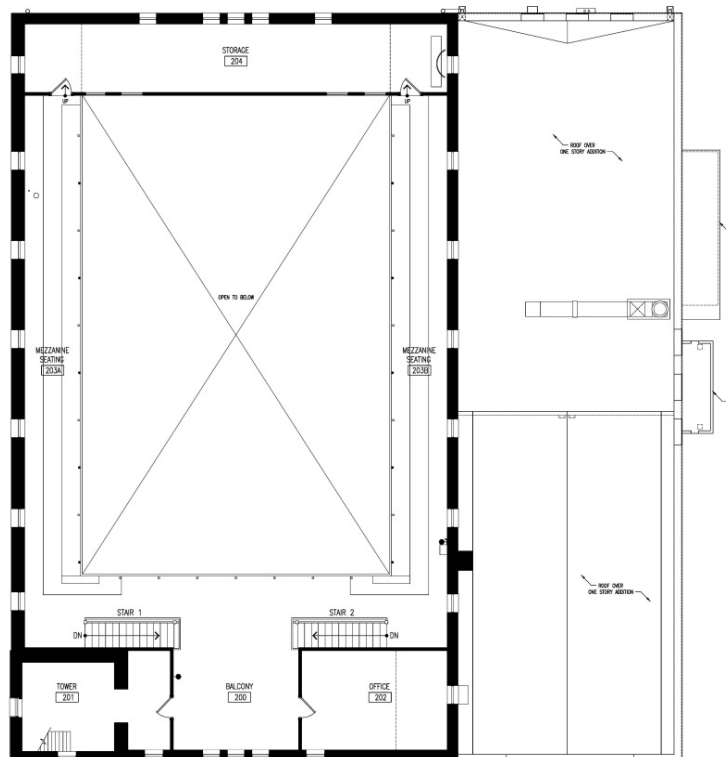
ARMORY AND CONVENTION CENTER

THE NEW PROJECT - EXISTING FLOOR PLANS

FIRST FLOOR



SECOND FLOOR

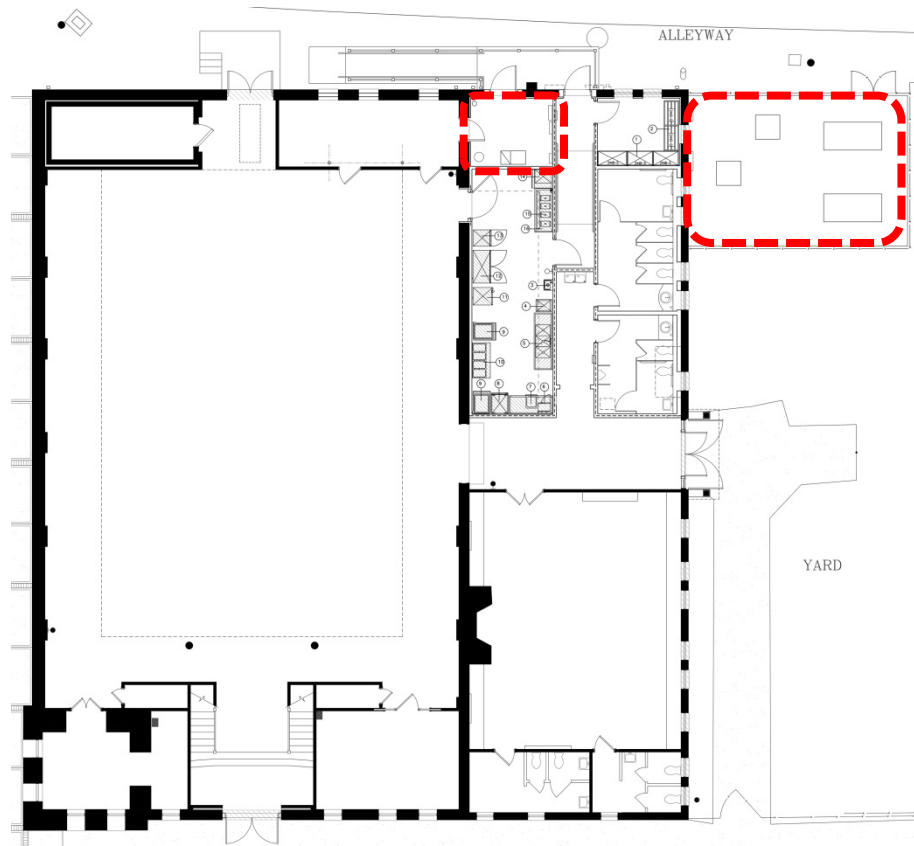




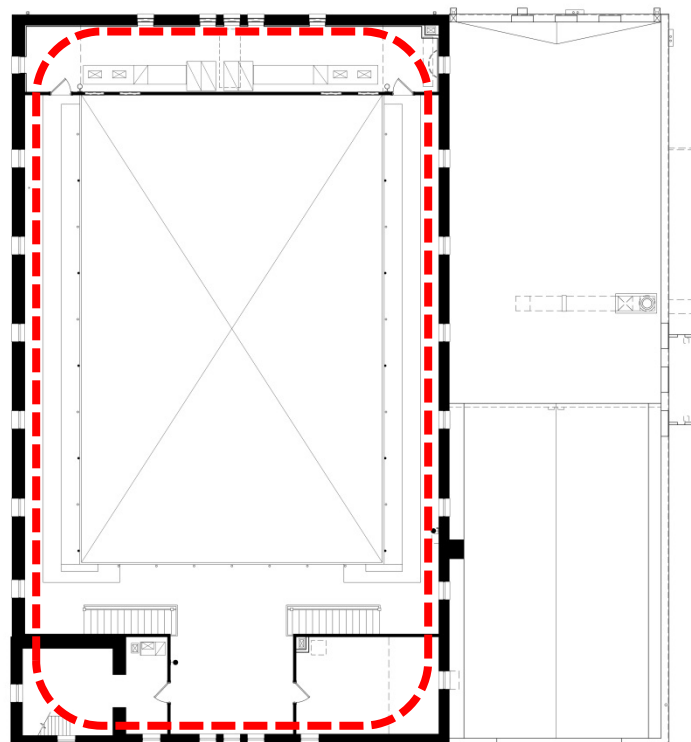
FORT COOMBS

ARMORY AND CONVENTION CENTER

THE NEW PROJECT- BASE BID HVAC RENOVATION



FIRST FLOOR



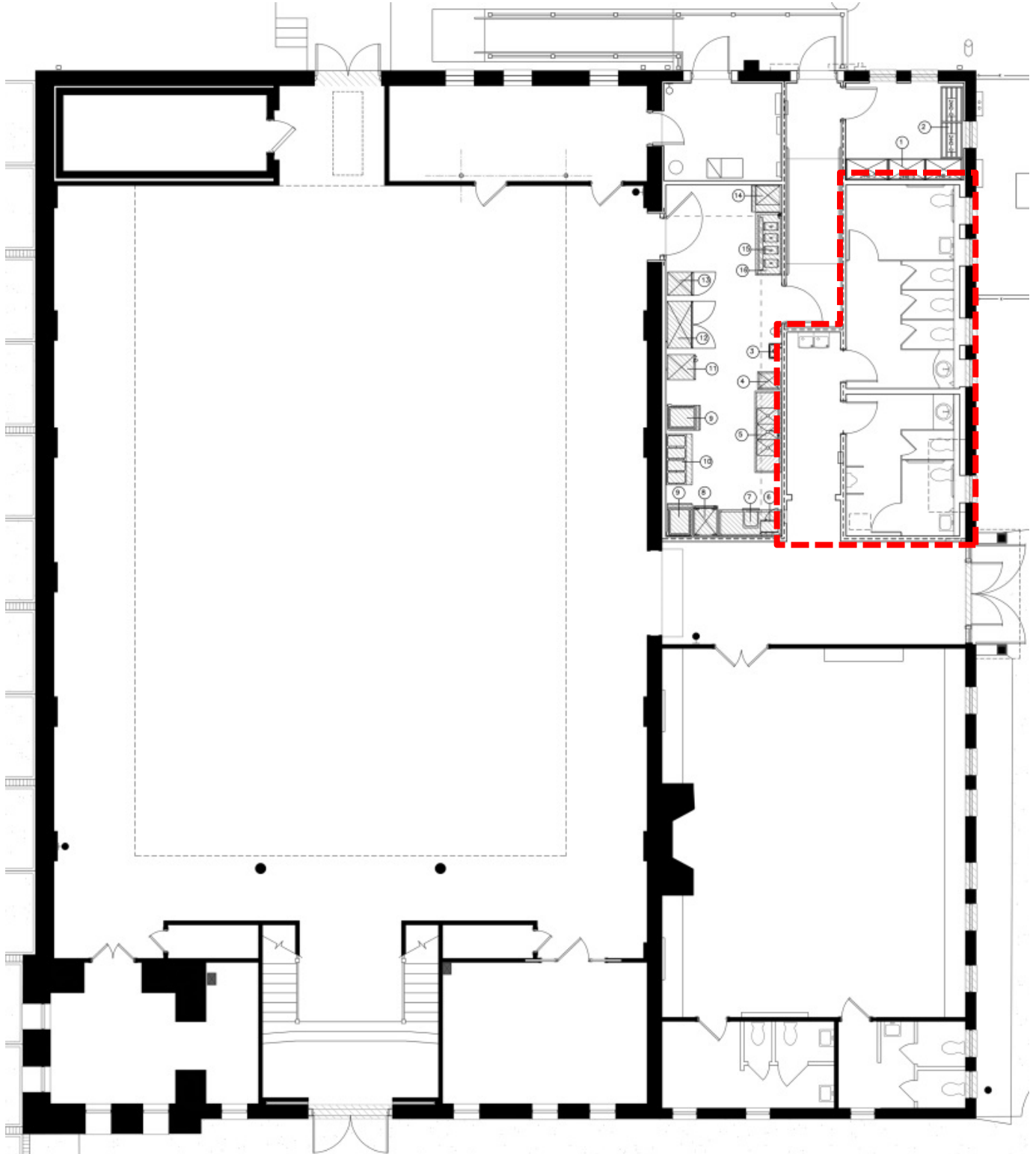
SECOND FLOOR



FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE ADA TOILET FACILITIES





FORT COOMBS

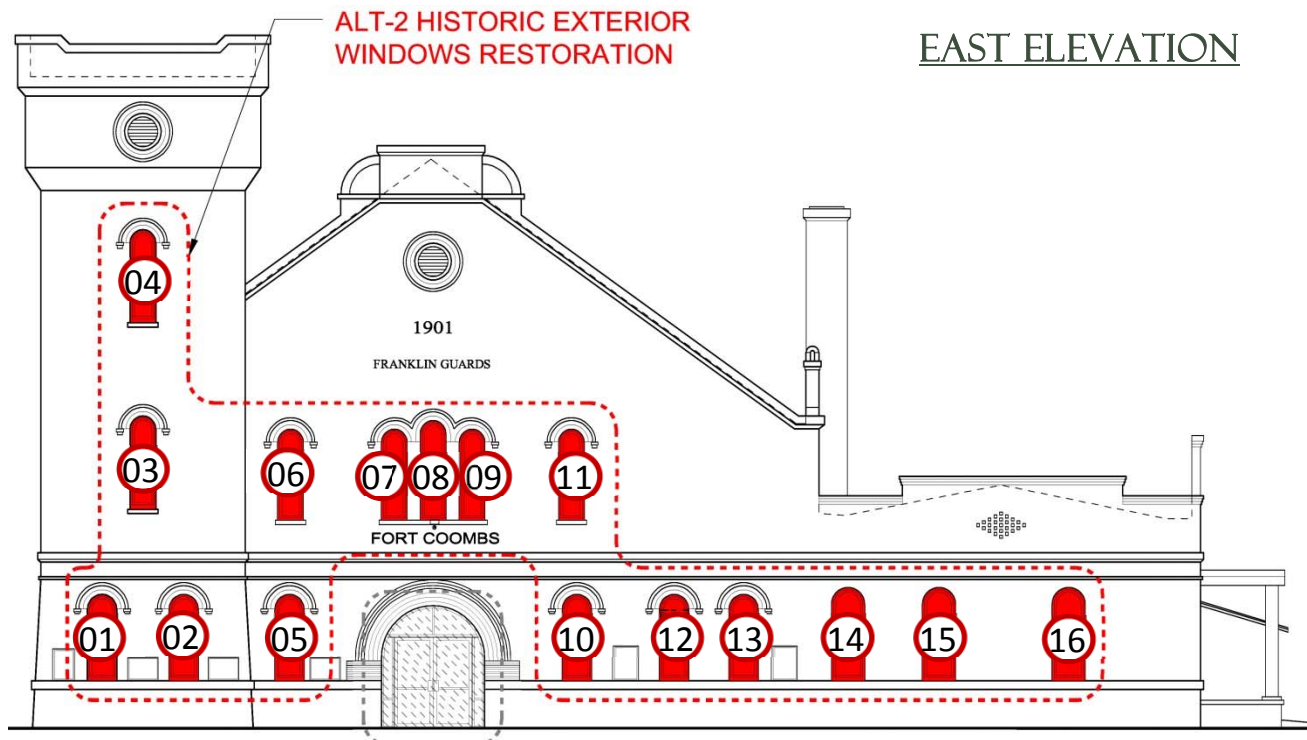
ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE HISTORIC WINDOW RESTORATION



The Project includes an Add Alternate to provide Historic Restoration of the existing windows on the East Elevation and the Watch Tower. The East elevation is the main frontage and entrance of the building and the watch tower is a major feature.

The windows located on the East Elevation and the Watch Tower appears to be the windows installed when the Main Hall was constructed in 1901. These windows were found to have drywood termite infestation and also are painted with lead based paint. Both of these deficiencies may contribute to significant cost to completely restore these selected windows.



EAST ELEVATION



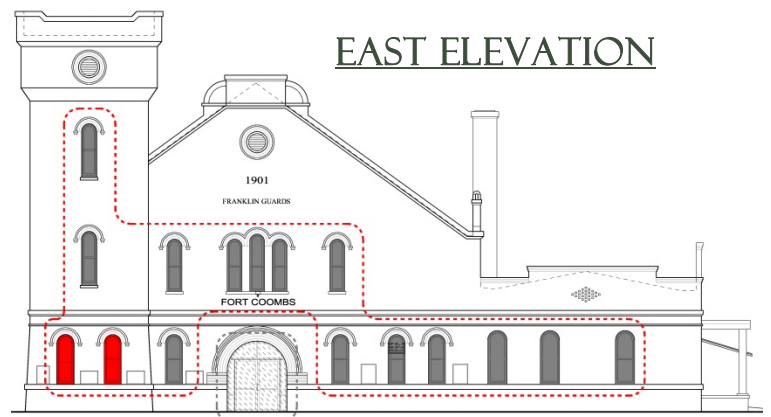
FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE HISTORIC WINDOW RESTORATION



The existing window HVAC unit shall be removed upon completion of the Main Hall HVAC construction.

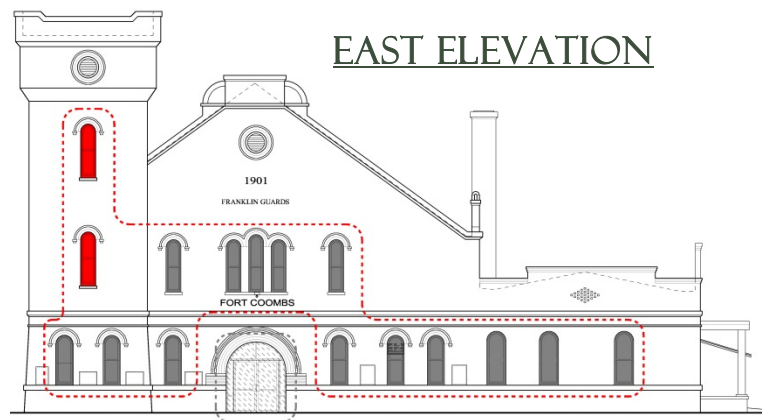
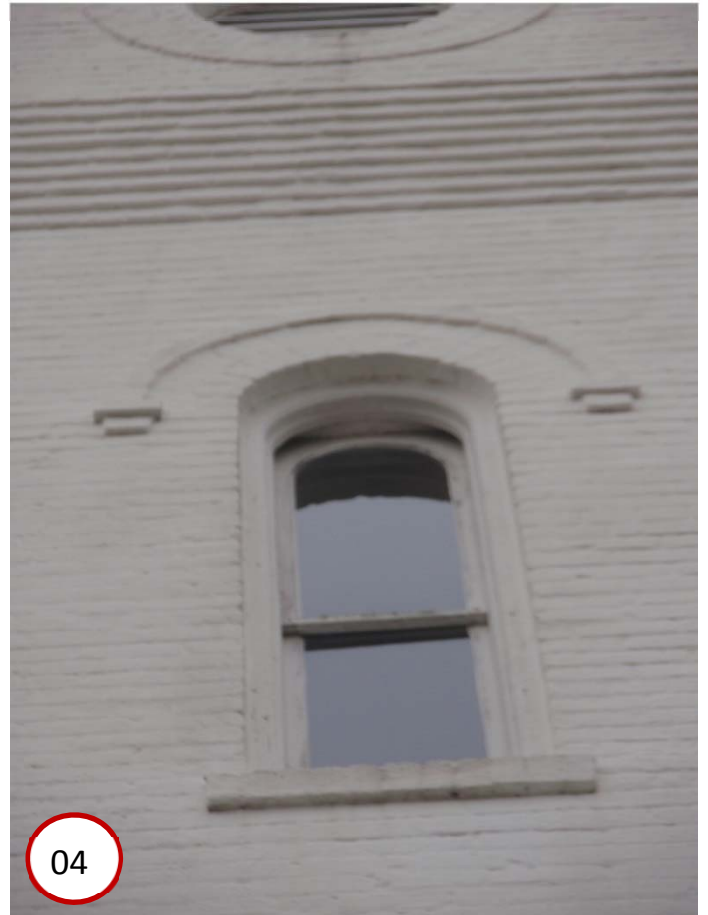




FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE HISTORIC WINDOW RESTORATION

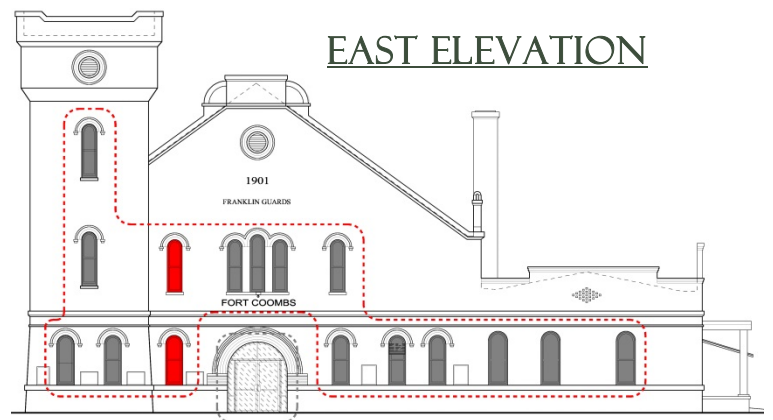
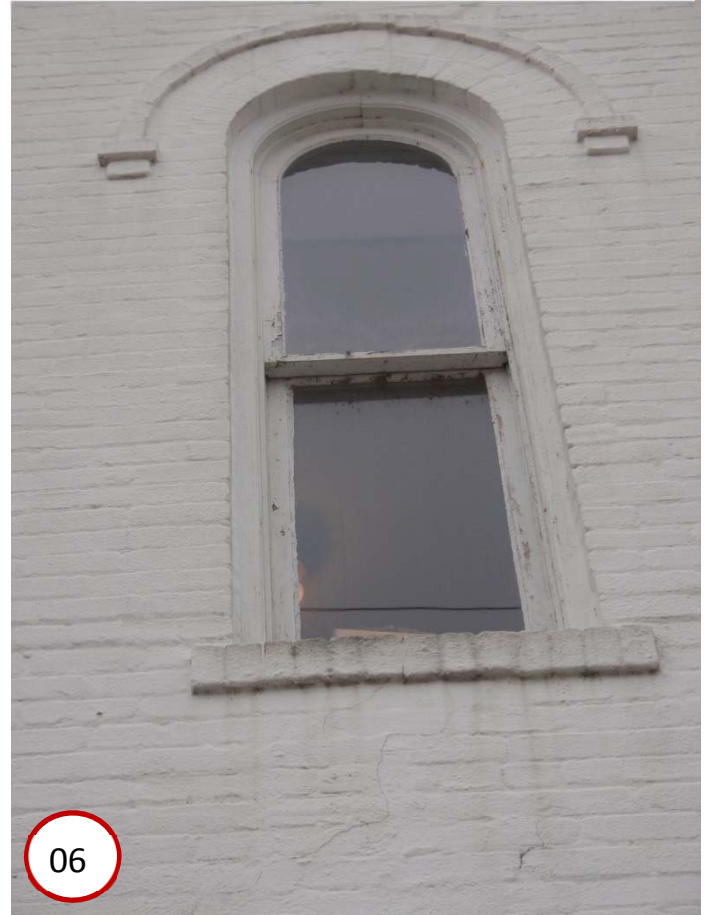




FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE HISTORIC WINDOW RESTORATION

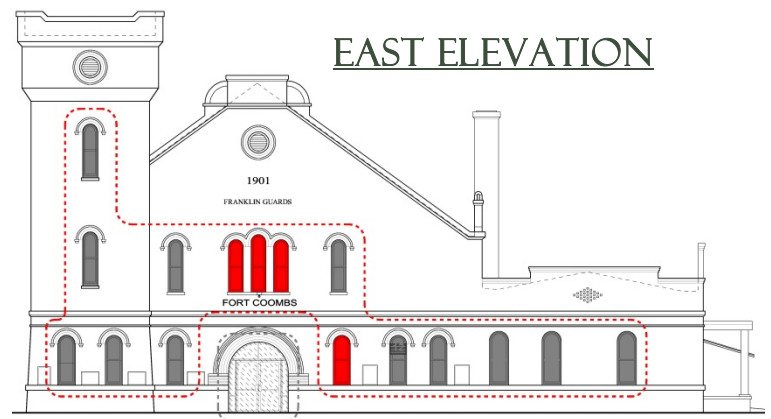
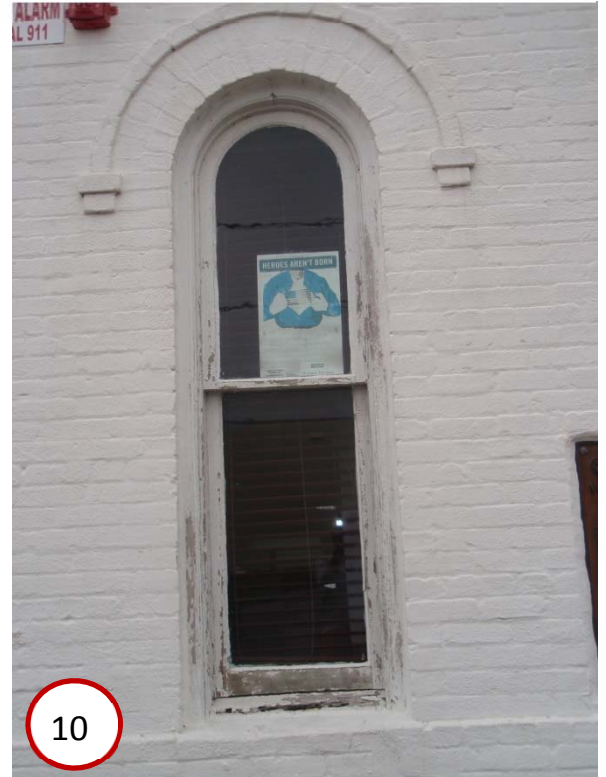




FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE HISTORIC WINDOW RESTORATION





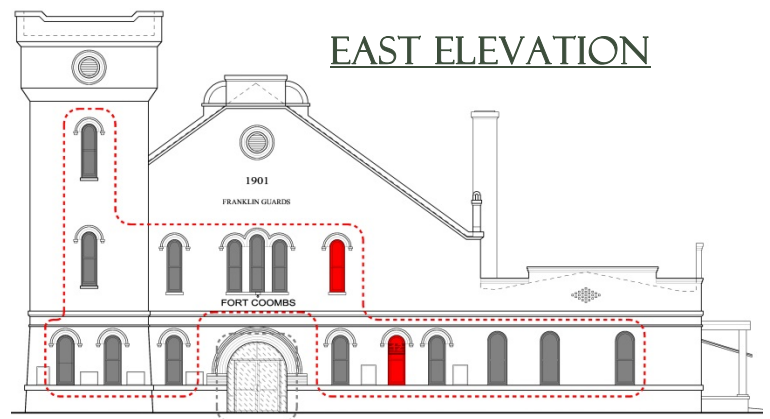
FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE HISTORIC WINDOW RESTORATION



The existing window HVAC unit shall be removed upon completion of the Main Hall HVAC construction.

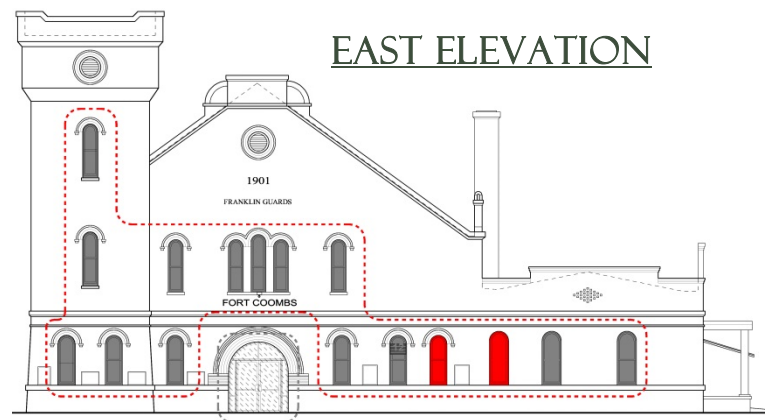




FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE HISTORIC WINDOW RESTORATION

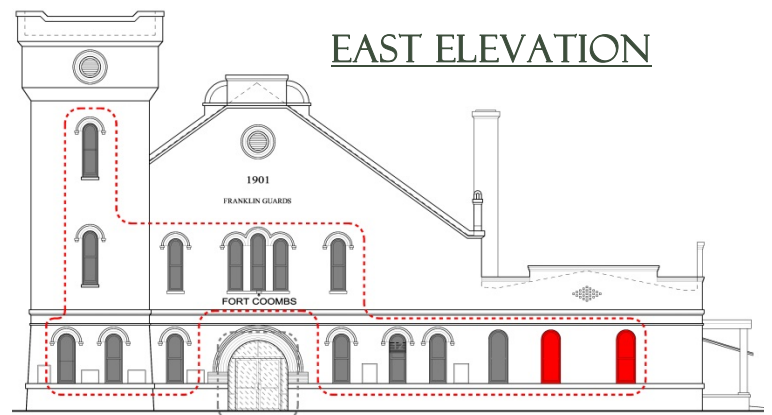




FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE HISTORIC WINDOW RESTORATION

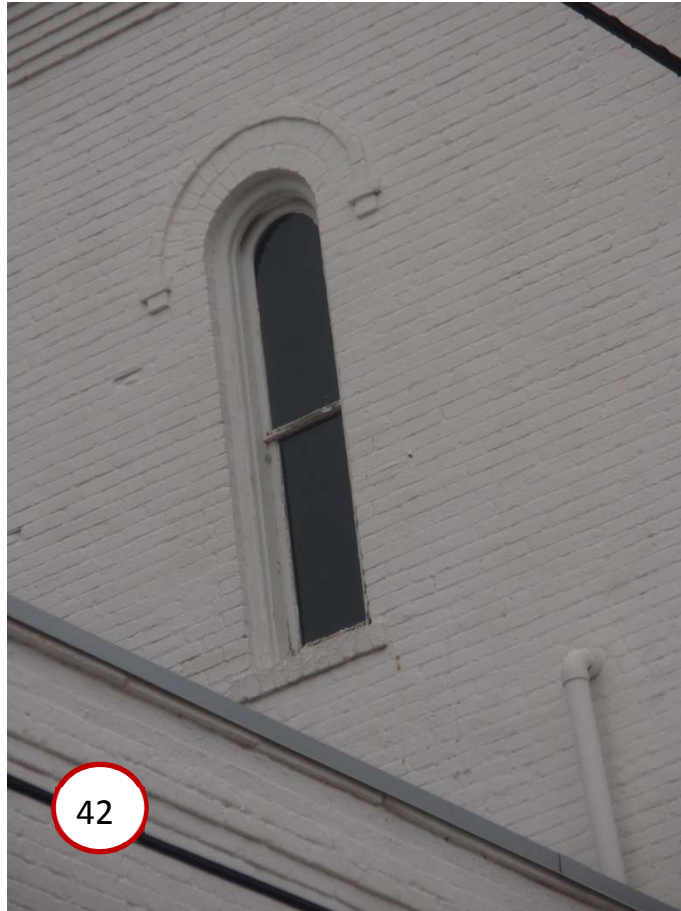




FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE HISTORIC WINDOW RESTORATION



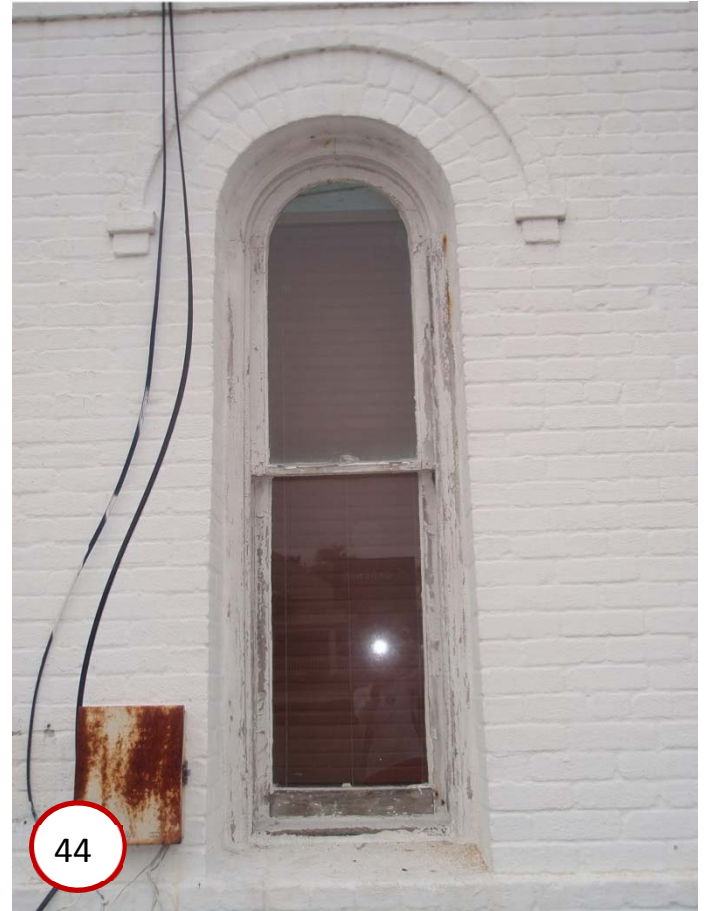
WEST ELEVATION



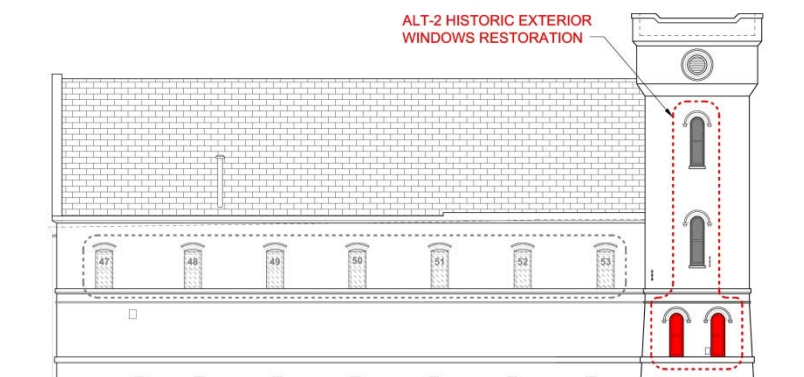
FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE HISTORIC WINDOW RESTORATION



SOUTH ELEVATION





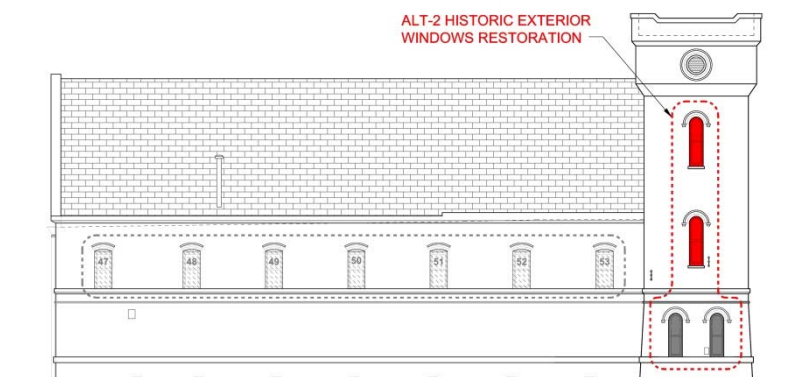
FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE HISTORIC WINDOW RESTORATION



SOUTH ELEVATION





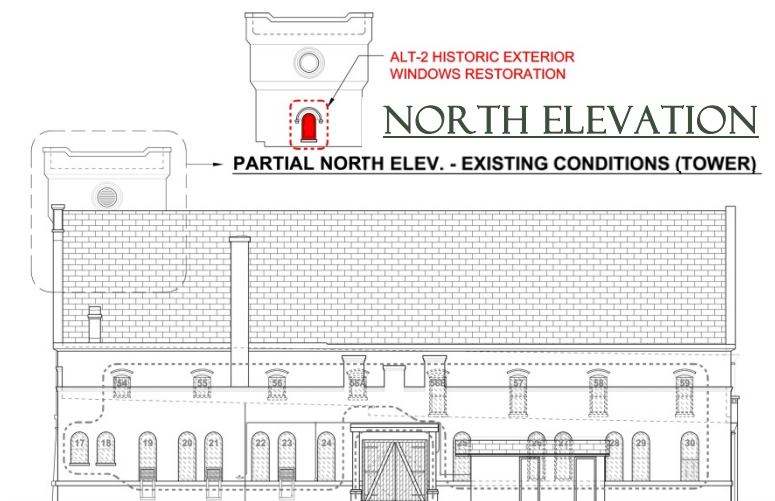
FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE HISTORIC WINDOW RESTORATION



The North side window is similar to the South side window.





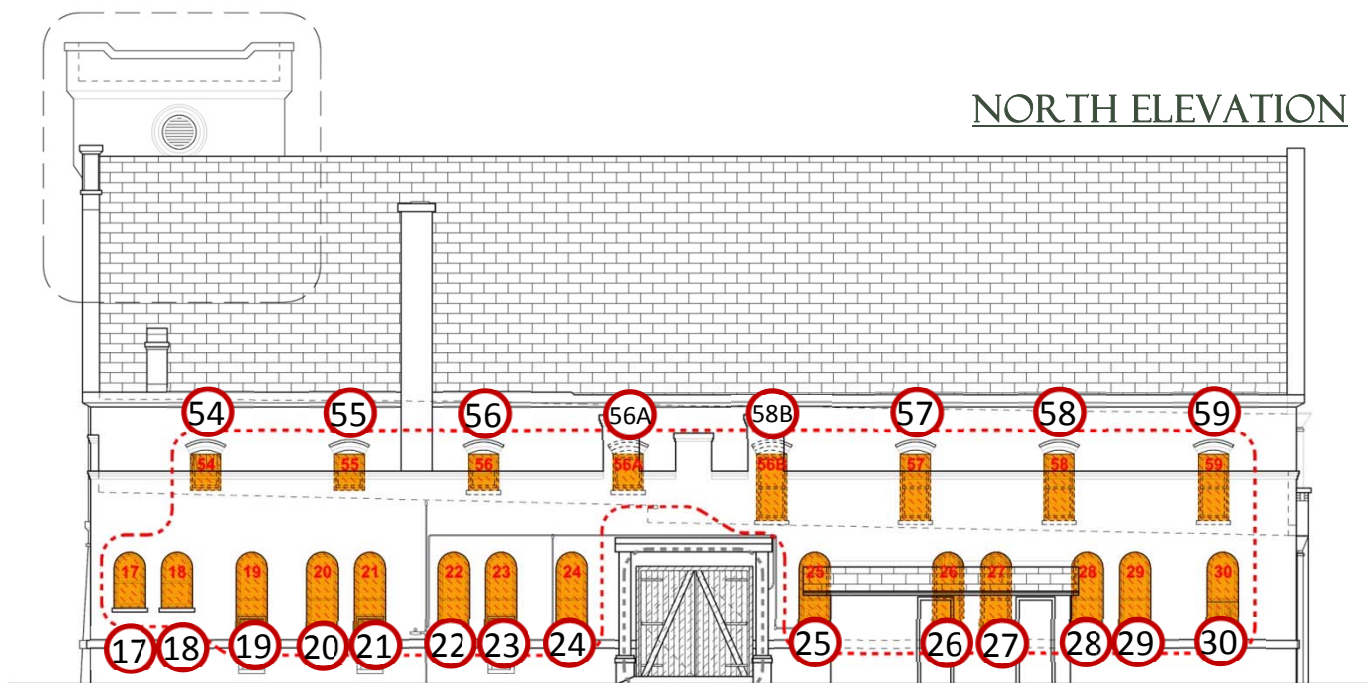
FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



The North Elevation windows were selected to be replaced with new windows in lieu of restoration. The second level windows have been previously replaced with low quality non-historic elements such as aluminum and the existing sill construction is deteriorated due to the close proximity to the North Wing roof. The original window units, #25 thru #27, have been removed and will require new window units. The basis of design is to install Code compliant windows that are consistent with the original design of the building.





FORT COOMBS

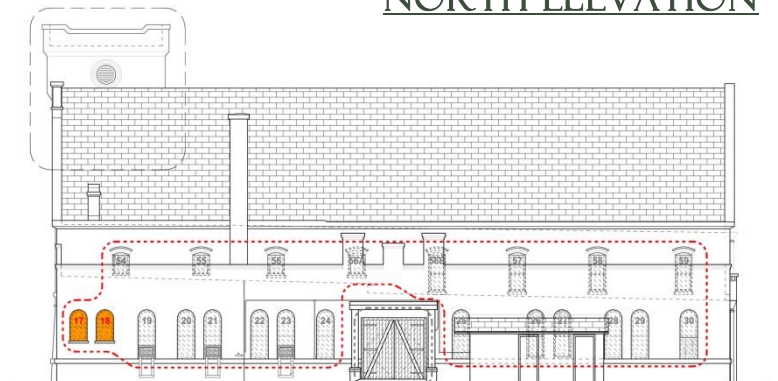
ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



The existing non-compliant toilet facilities are located in this area. The demolition of the existing facilities is not included in the project at this time.

NORTH ELEVATION

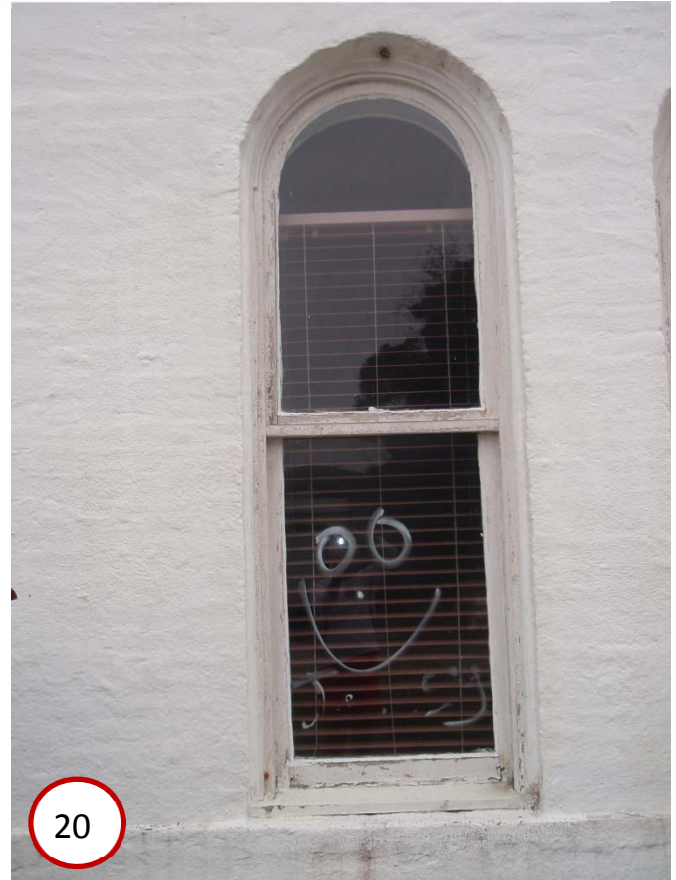




FORT COOMBS

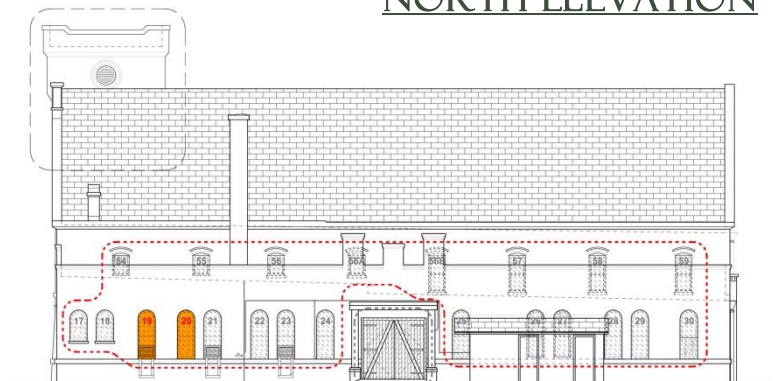
ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



The existing HVAC window unit shall remain. The renovations to the East section of the North Wing are not included in the project at this time.

NORTH ELEVATION





FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



The existing HVAC window unit shall remain. The renovations to the East section of the North Wing are not included in the project at this time.

NORTH ELEVATION





FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



The existing HVAC window unit shall remain. The renovations to the East section of the North Wing are not included in the project at this time.

NORTH ELEVATION





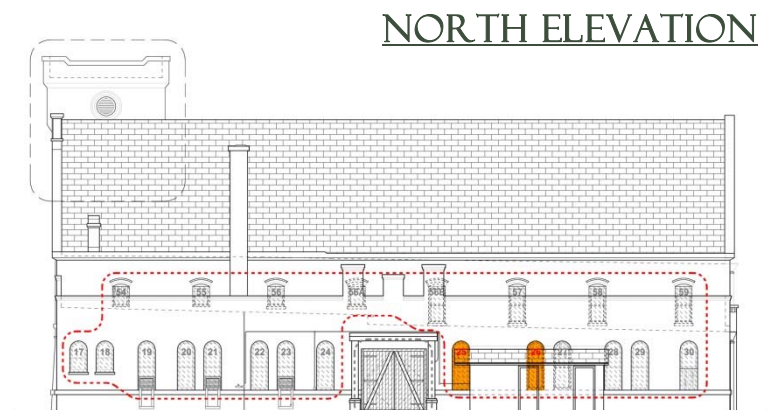
FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



The original window units have been previously removed and a stucco panel infill has been installed. These window openings shall receive new window units.





FORT COOMBS

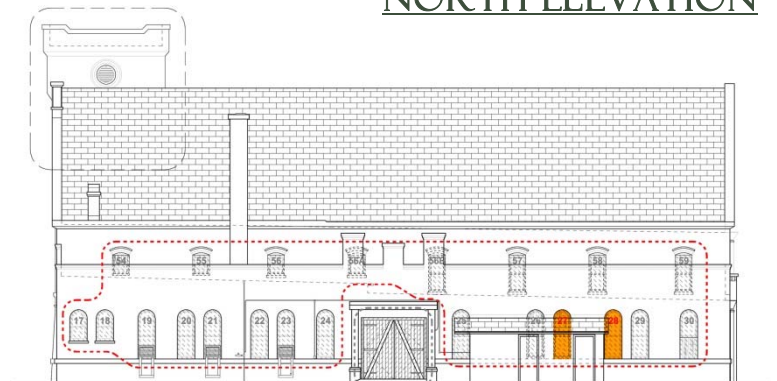
ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



The original window unit, (27) has been modified and therefore replacement is required.

NORTH ELEVATION

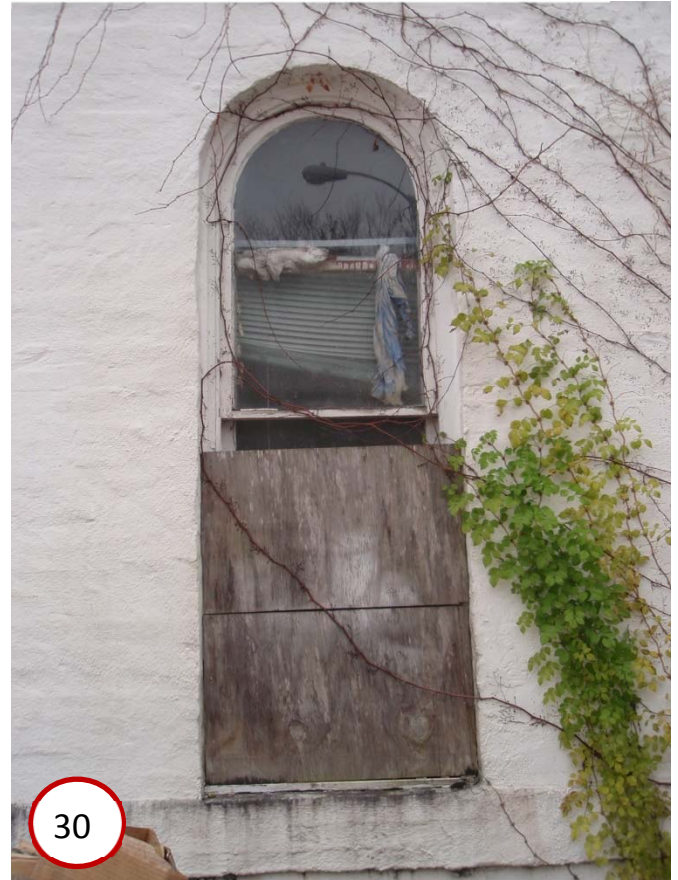




FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



Window units 29 and 30 shall be replaced due to the extent of water and termite damage discovered.

NORTH ELEVATION





FORT COOMBS

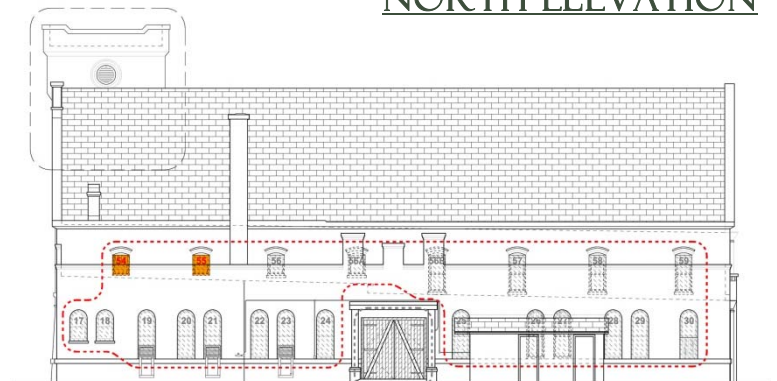
ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



The second level windows have been repaired with non-historic elements and the existing sill locations are in close proximity to the North Wing roof. The HVAC unit shall be removed upon completion of the new HVAC construction. The new window and sill construction shall be compatible with the new roofing.

NORTH ELEVATION





FORT COOMBS

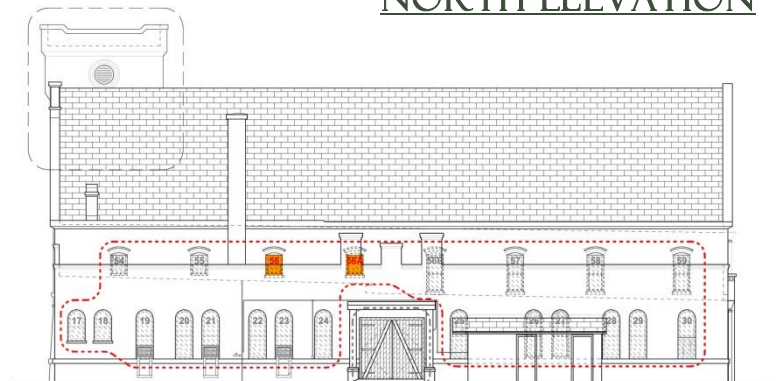
ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



The new window and sill construction shall be compatible with the new roofing.

NORTH ELEVATION





FORT COOMBS

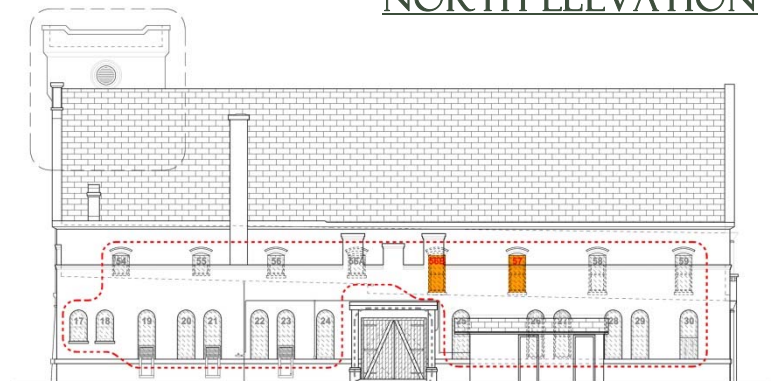
ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



The new window and sill construction shall be compatible with the new roofing. Window unit 57 is currently utilized to access the North Wing roof.

NORTH ELEVATION





FORT COOMBS

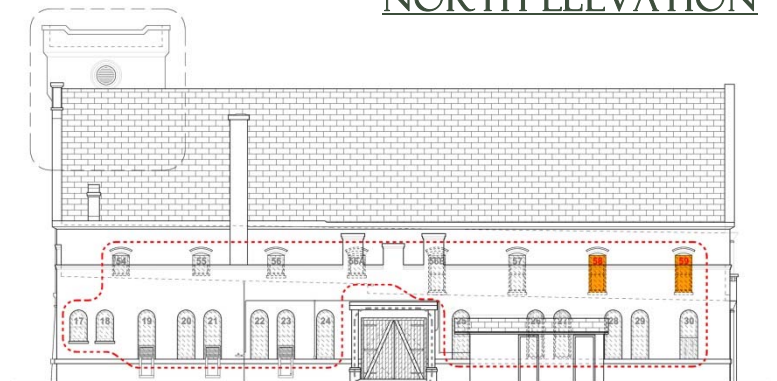
ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



The new window and sill construction shall be compatible with the new roofing.

NORTH ELEVATION





FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



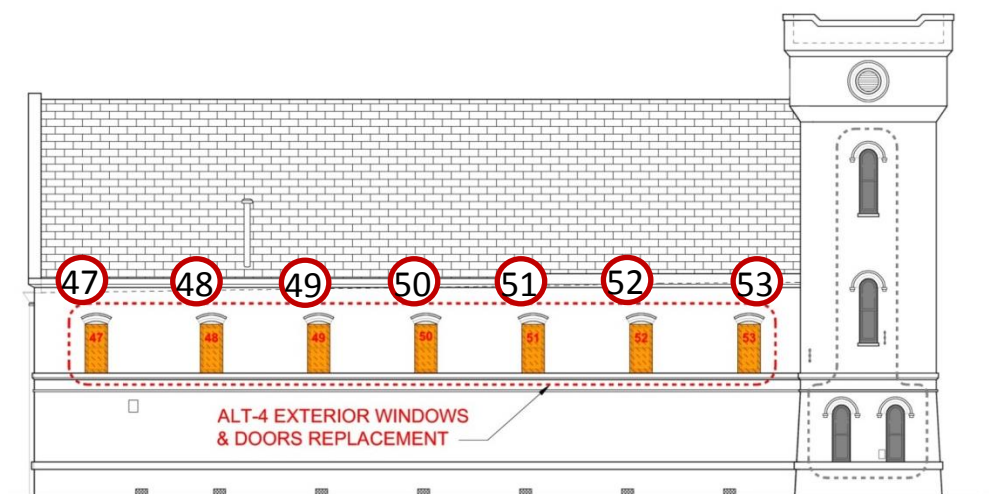
The South elevation windows have been selected to be replaced with new window units in lieu of restoration. Several window units have been repaired in the past with no-historical aluminum and wood elements.



The new window assemblies shall also match the new window assemblies on the North elevation.



SOUTH ELEVATION





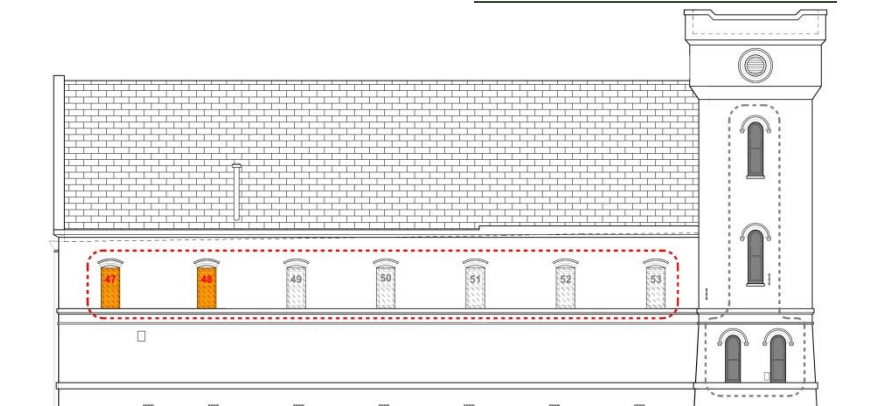
FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



SOUTH ELEVATION

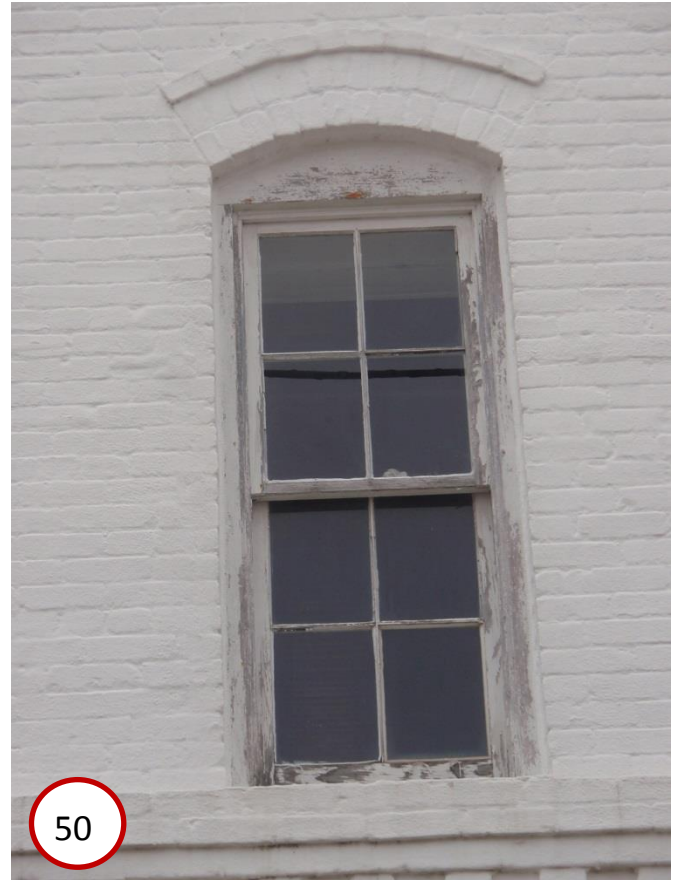




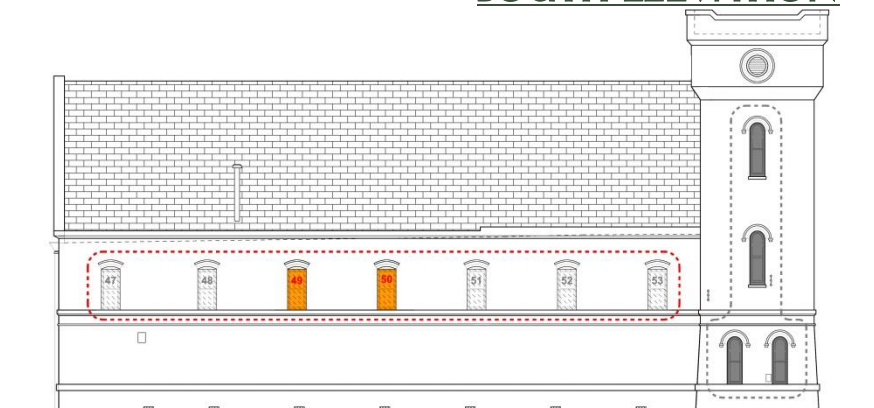
FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



SOUTH ELEVATION

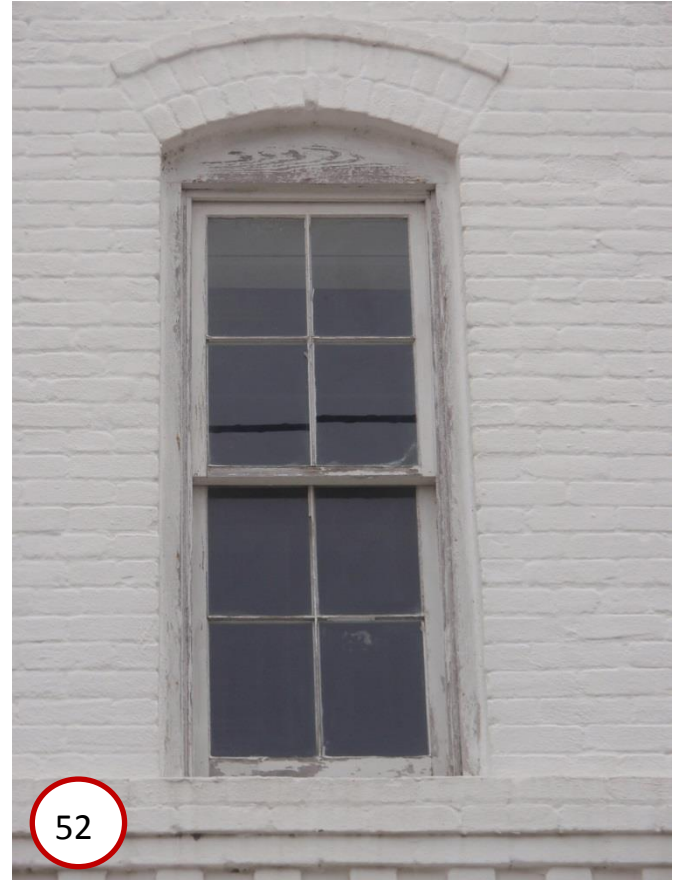




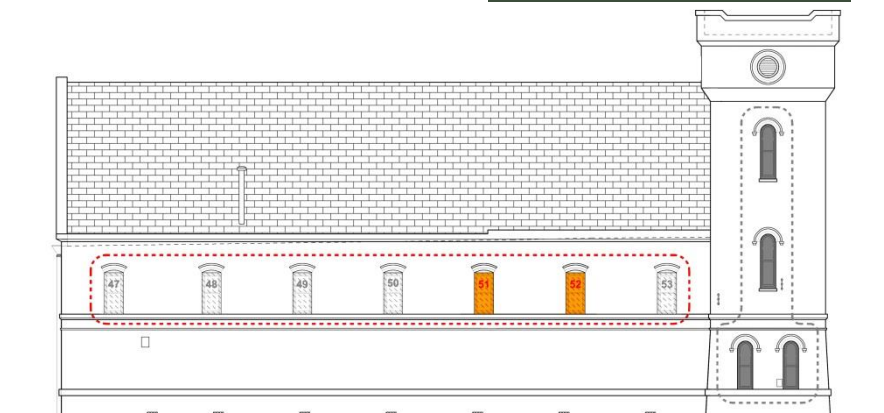
FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



SOUTH ELEVATION





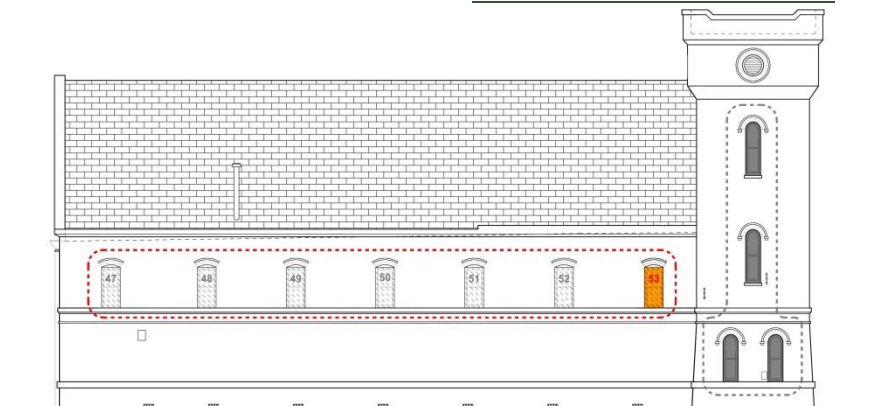
FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



SOUTH ELEVATION





FORT COOMBS

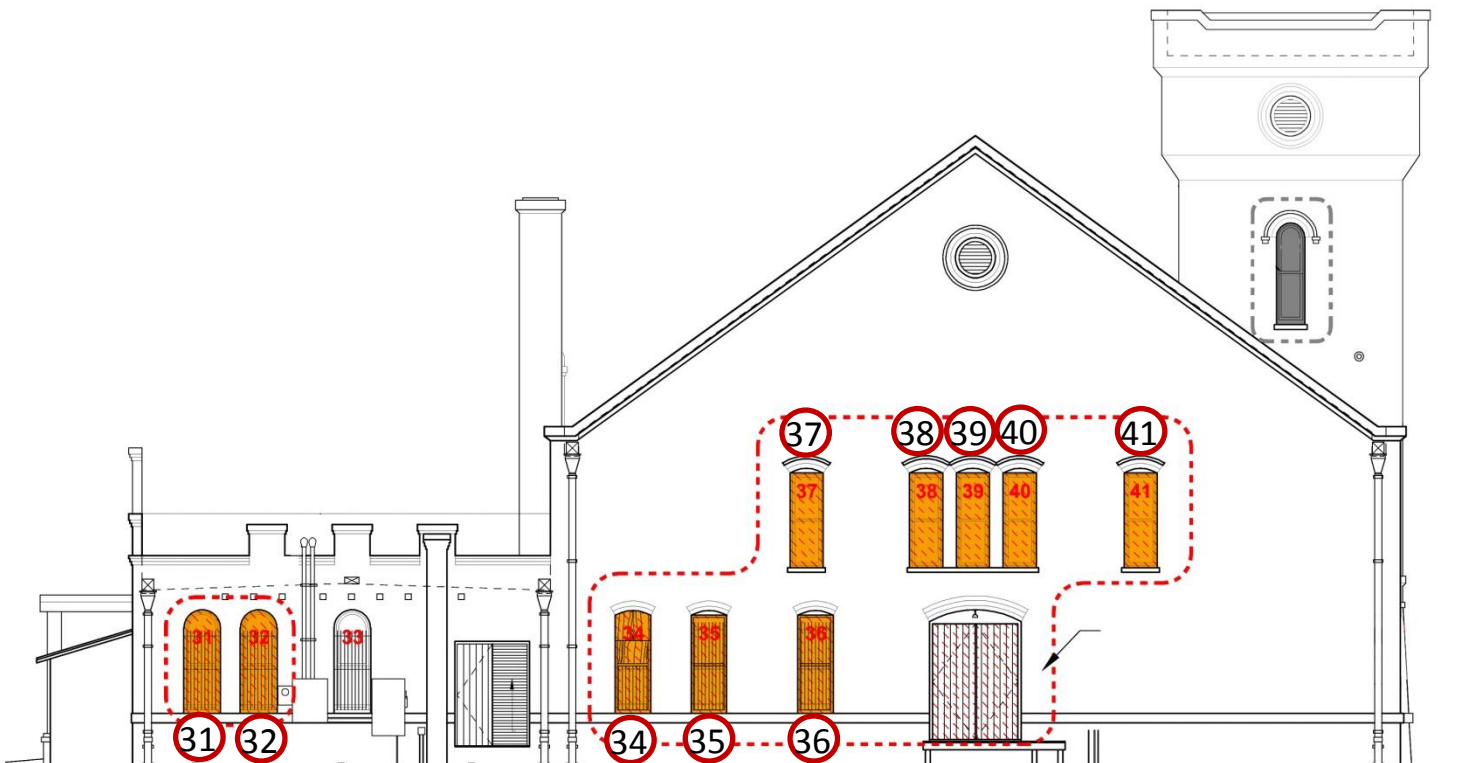
ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



The West elevation is designed as the “Back of House” and service access. The West elevation faces an unpaved service alley way running parallel to 4th Street. The service alley provides access to the rear of the Main Hall and North Wing.

WEST ELEVATION





FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



Windows 31 and 32 are adjacent to Windows 29 and 30 delineated previously on the North elevation. These windows also have substantial damage caused by water intrusion and termites. The window bars shall be removed and not replaced.

WEST ELEVATION





FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



Window 33 shall be removed entirely to allow for the construction the new door entry/exit and the new ADA ramp assembly. Window 34 shall be infilled to match the “Back of House” design.

WEST ELEVATION





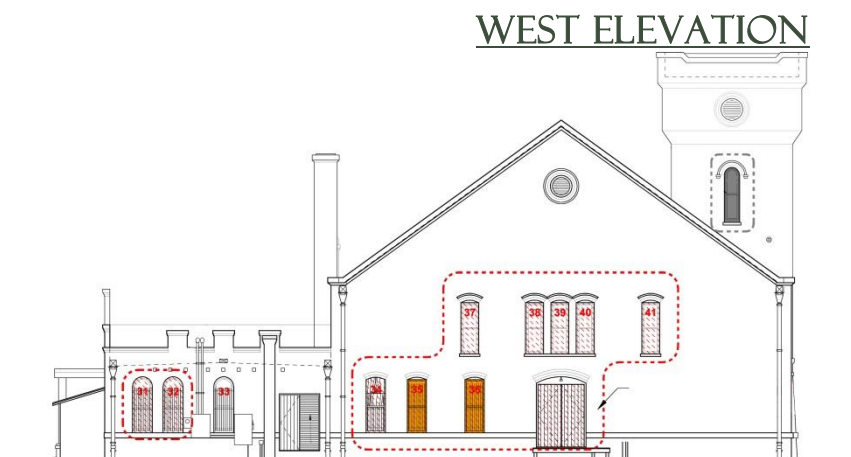
FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



Window 35 and 36 shall be infilled to match the “Back of House” design.

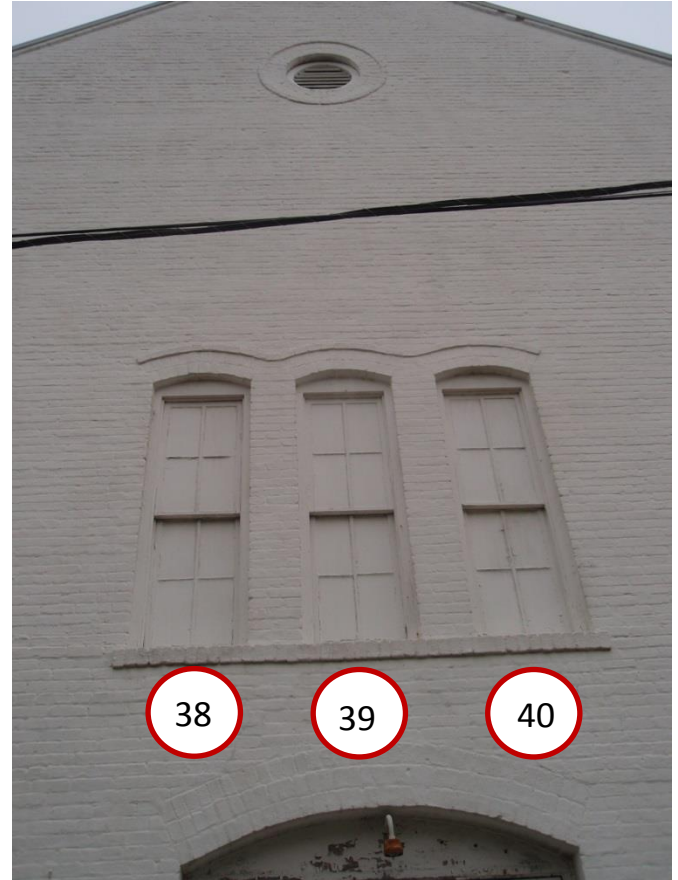




FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



The room or area behind the second level windows is the location of the new Main Hall HVAC equipment. Windows 37 and 39 shall be infilled and window openings 38 and 40 shall be the new HVAC equipment air make-up louvers.

WEST ELEVATION





FORT COOMBS

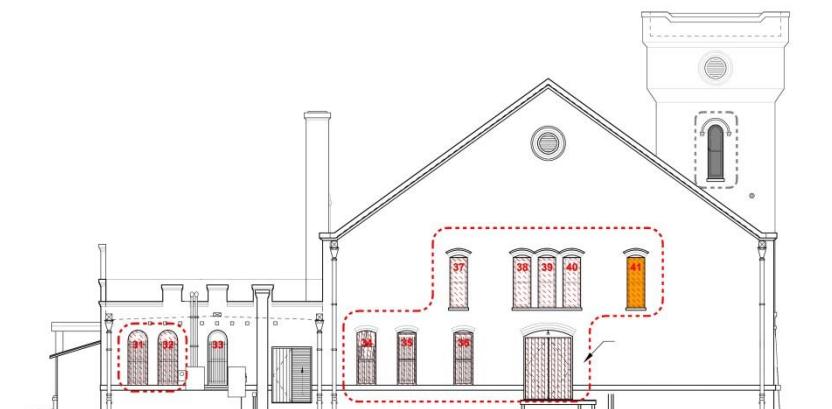
ARMORY AND CONVENTION CENTER

THE PROJECT – ADD ALTERNATE WINDOW REPLACEMENT



Window 41 shall be infilled to match the “Back of House” design.

WEST ELEVATION





FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – EXISTING HISTORIC WOOD TRIM

The new wood trim design is based upon the existing trim profiles found in the Main Hall Office102. The new wall bead board is based upon the existing bead board profile found in the Main Hall.



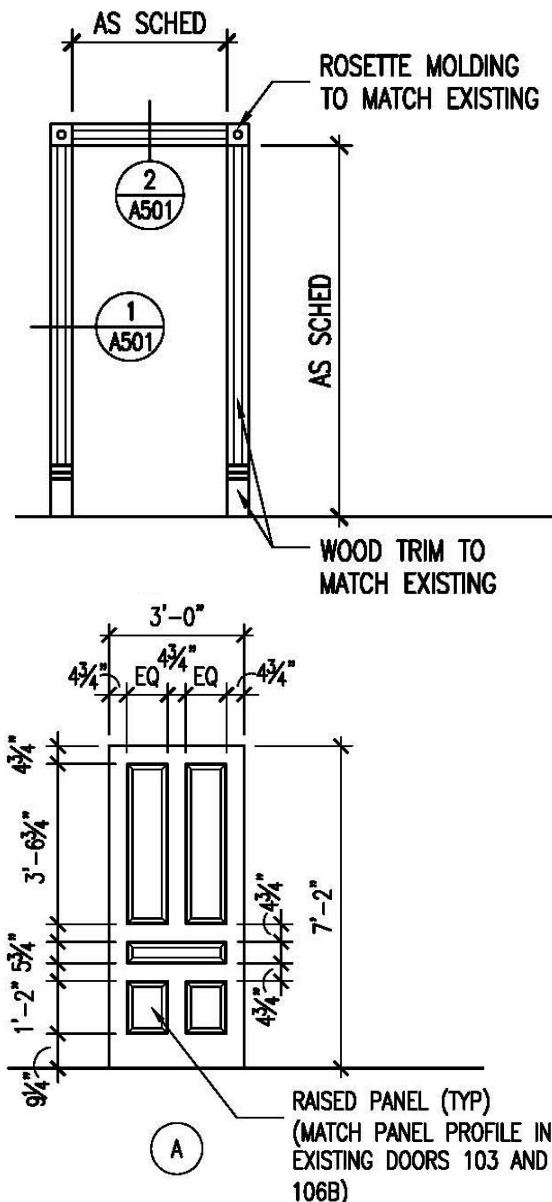
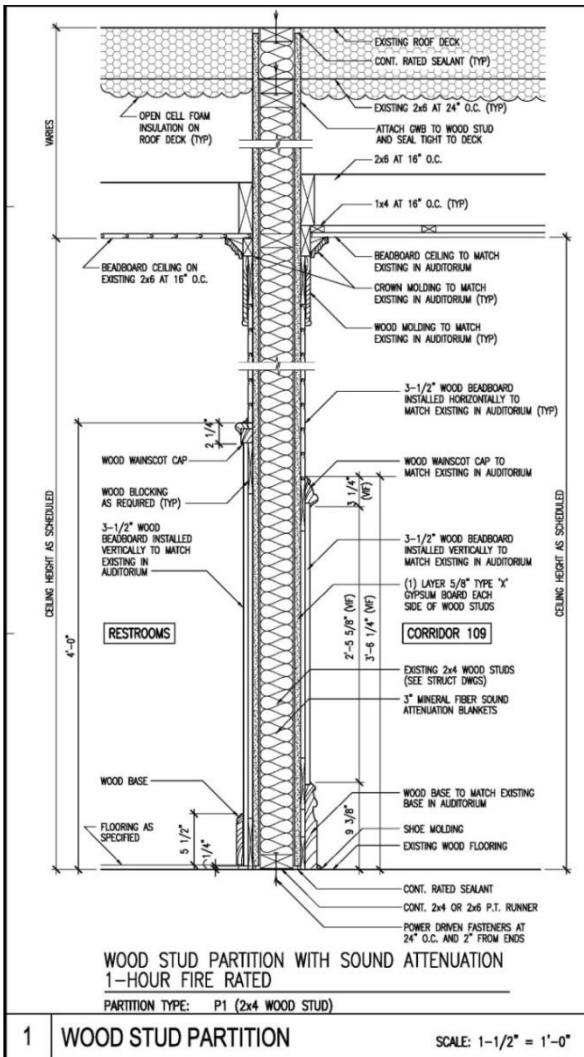


FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT – NEW WOOD TRIM AND INTERIOR DOOR PROFILES

The Design delineates the construction of the running wall trim and wall board to match existing construction. The new interior doors shall also match the existing panel door profiles found in the Main Hall.





The existing pocket door 100A on the East elevation is designed to be restored and made operable. The existing glass storefront door assembly is designed to be replaced with new exterior doors to match the existing pocket door profiles.



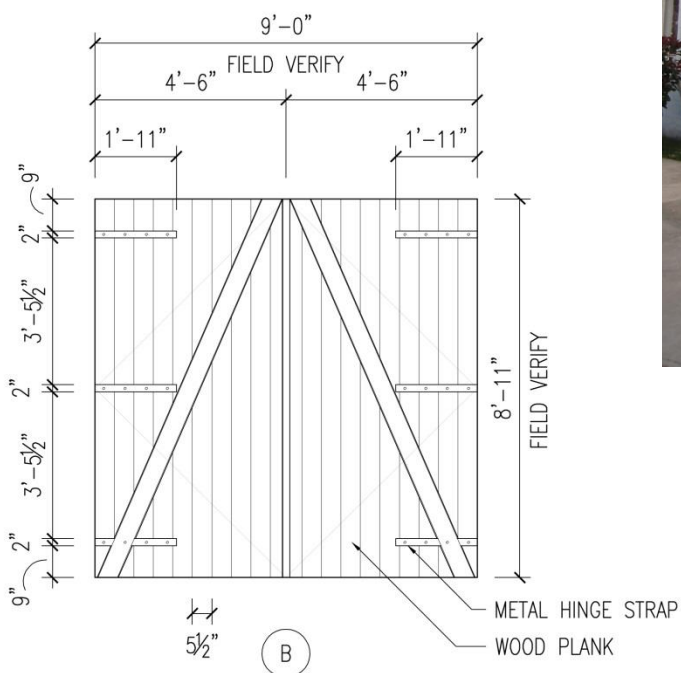


FORT COOMBS

ARMORY AND CONVENTION CENTER

THE PROJECT –ADD ALTERNATE HISTORIC DOOR RESTORATION

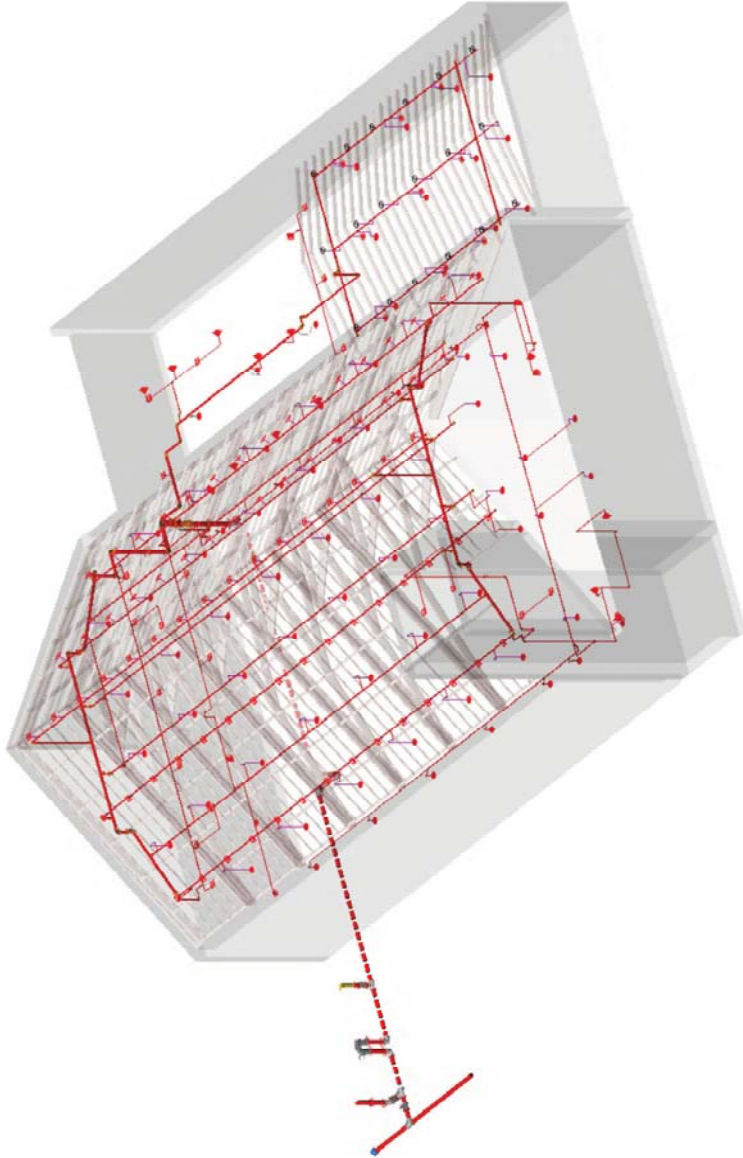
The existing North elevation exterior door 108A is designed to be restored.



FORT COOMBS ARMORY and CONVENTION CENTER RENOVATIONS NEW AUTOMATIC FIRE SPRINKLER SYSTEM DESIGN CRITERIA PACKAGE

for

FRANKLIN COUNTY
BOARD of COUNTY COMMISSIONERS
APALACHICOLA, FLORIDA





CGC010787
EMO Project Number E736,16,715.01
20 DECEMBER 2017

DRAWING INDEX

- GENERAL
 - G001 COVER SHEET
 - G002 CODE INVESTIGATION, GENERAL NOTES AND GRAPHIC SYMBOLS
- LIFE SAFETY
 - LS01 FIRST FLOOR PLAN - LIFE SAFETY
 - LS02 SECOND FLOOR PLAN - LIFE SAFETY
- SURVEY
 - TS01 SURVEY-EXISTING CONDITIONS
- ARCHITECTURE
 - EA01 FIRST FLOOR PLAN - EXISTING CONDITIONS
 - EA02 SECOND FLOOR PLAN - EXISTING CONDITIONS
 - EA03 ELEVATIONS - EXISTING CONDITIONS
 - EA04 BUILDING SECTIONS - EXISTING CONDITIONS
- FIRE SPRINKLER SYSTEM
 - FS01 FIRE PROTECTION NOTES
 - FS02 FIRST LEVEL - FIRE PROTECTION
 - FS03 SECOND LEVEL - FIRE PROTECTION
 - FS04 ATTIC LEVEL - FIRE PROTECTION



ARCHITECTS, INC.
1126 Thomasville Road
Tallahassee, Florida 32303-6272
Telephone: 850-222-8000
www.EMOCompanies.com

FORT COOMBS ARMORY
and CONVENTION CENTER RENOVATIONS
NEW AUTOMATIC FIRE SPRINKLER SYSTEM
DESIGN CRITERIA PACKAGE
for
FRANKLIN COUNTY
BOARD OF COUNTY COMMISSIONERS
APALACHICOLA, FLORIDA

DESIGNED: W.A. EMO, AIA
CHECKED: W.A. EMO, AIA
PROJECT NO. E736,16,715.01

REV	DATE	DESCRIPTION
1	12/20/17	ISSUED FOR PERMITTING
2	12/20/17	ISSUED FOR PERMITTING
3	12/20/17	ISSUED FOR PERMITTING
4	12/20/17	ISSUED FOR PERMITTING
5	12/20/17	ISSUED FOR PERMITTING

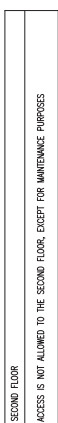
EMO ARCHITECTS, INC.
1126 THOMASVILLE ROAD
TALLAHASSEE, FLORIDA 32303-6272
Copyright © 2017 EMO/ARCHITECTS, INC.

DESIGN CRITERIA
PACKAGE

COVER SHEET














SET NO. G001

20 DECEMBER 2017



SECOND FLOOR	CAPACITY	MEANS OF EGRESS	ROOM NAME	AREA CALCULATIONS	OCCUPANTS
1	ASSEMBLY	USE 100 GSF 18 LIFESAFES	MEZZANINE	$174'-6" \times 17'-8" = 116.33$	116
2	ASSEMBLY	13 NSF	LOBBY	$633 \text{ NSF} / 15 = 42.2$	42
2	BUSINESS	100 GSF	MEZZANINE	$5990 \text{ GSF} = \left[\frac{1}{2} (171 \text{ NSF Assembly}) + 2444 \text{ NSF (Open to Below)} \right] = 2484 \text{ NSF (Mechanical)} = 934 \text{ NSF} / 23 = 40.6$	9
3	MEDIA/ELECT	300 GSF	MEDIA RM 204 THEATER 201	$736 \text{ NSF} / 350 = 2.1$	2
TOTAL NUMBER OF OCCUPANTS AT SECOND FLOOR					169

LIFE SAFETY PLAN LEGEND

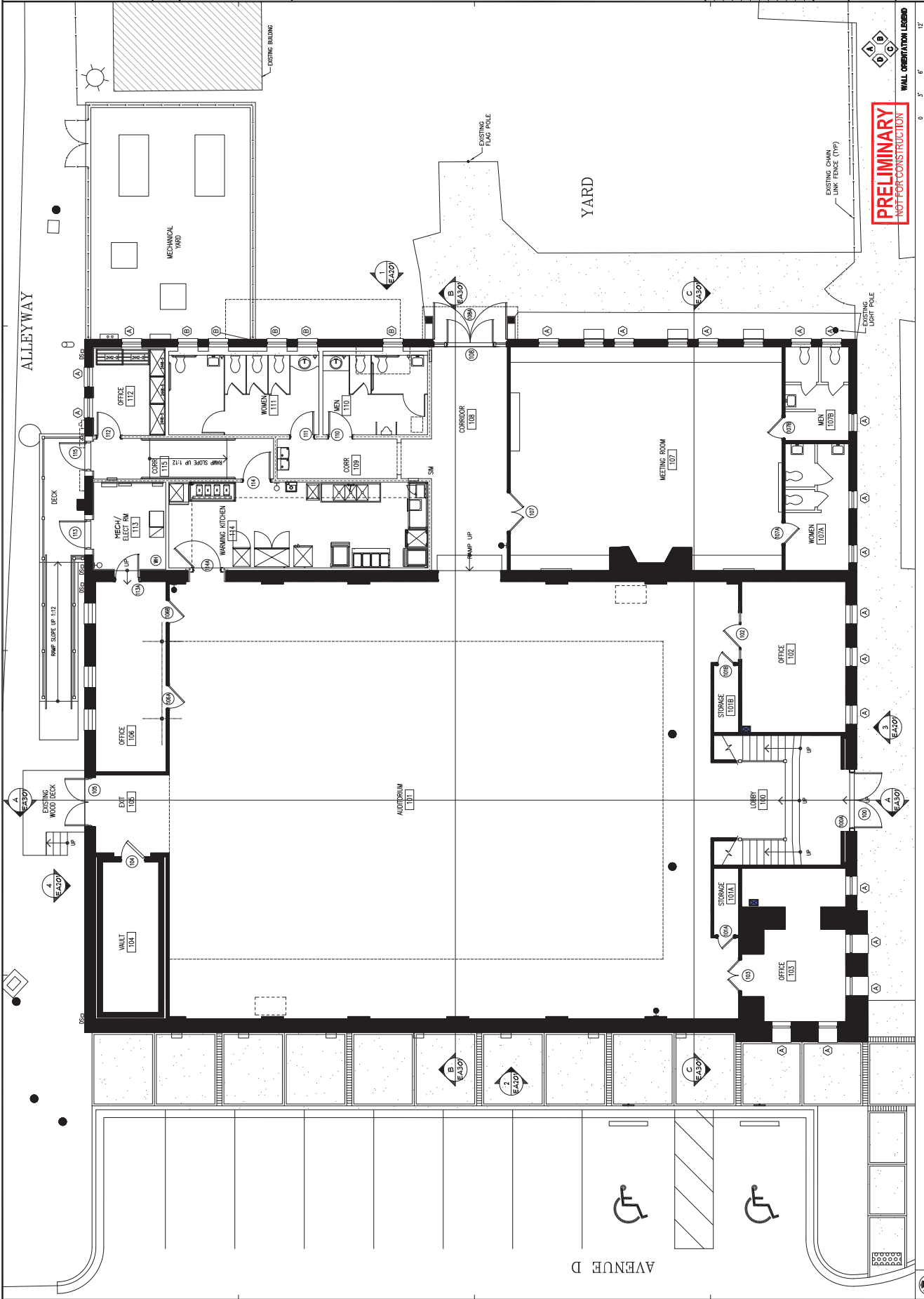
- | | |
|--|--|
|  | ZONE 1: ASSEMBLY GROUP A-3 |
|  | ZONE 2: BUSINESS |
|  | ZONE 3: MECHANICAL/ ELECTRICAL |
|  | EGRESS PATH (TRAVEL DISTANCE) |
|  | DIRECTION OF TRAVEL |
|  | BUILDING EXIT |
|  | INDICATES 3/4 HOUR DOOR AND FRAME WITH CLOSER |
|  | INDICATES 20 MINUTE DOOR AND FRAME WITH CLOSER |
|  | 1 HR RATED WOOD STUD WALL PER UL NO. 1039 |
|  | EXIT LIGHT (A/C/D/C PRIMARY) |
|  | CLASS 2A-10C (DRY CHEMICAL FIRE EXTINGUISHER) 5 LB CAPACITY (QUINCE BRAND) |
|  | CLASS 2A-10C (DRY CHEMICAL FIRE EXTINGUISHER) 5 LB CAPACITY (BRACKET MOUNTED) |
|  | CLASS 2ABC (DRY CHEMICAL FIRE EXTINGUISHER) 5 LB CAPACITY (BRACKET MOUNTED - EQUIPMENT ROOMS ONLY) |
| NOTES: | |
| 1. | REFER TO SHEET GOOD FOR WALL AND PARTITION LEGEND |
| 2. | REFER TO ELECTRICAL LIGHTING PLAN FOR LOCATIONS OF EMERGENCY LIGHT FIXTURES |
| 3. | ALL DOORS IN RATED PARTITIONS SHALL BE SELF-CLOSING |

PRELIMINARY
NOT FOR CONSTRUCTION

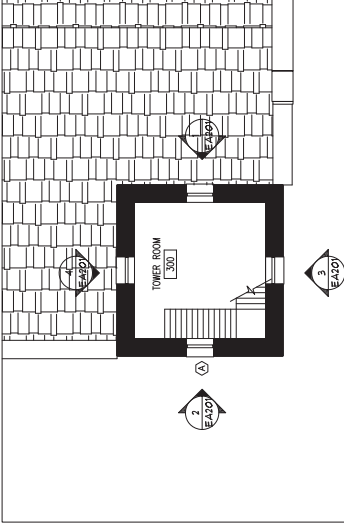
SECOND FLOOR PLAN - LIFE SAFETY

SCALE: 1/8" = 1'-0"

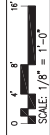
[illegible]



FIRST FLOOR PLAN - EXISTING CONDITIONS



TOWER FLOOR PLAN - EXISTING CONDITIONS
SCALE: 3/16" = 1'-0"



BUILDING SECTION EAST TRANSVERSE - EXISTING CONDITIONS

SHEET NO.
EA301
20 DECEMBER 2017

FRANKLIN COUNTY
BOARD of COUNTY COMMISSIONERS

WARREN A. DMO, AIA FLORIDA ARCHITECT
LICENSE NUMBER AB0007996

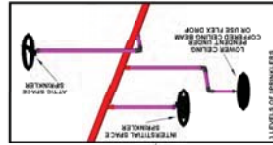
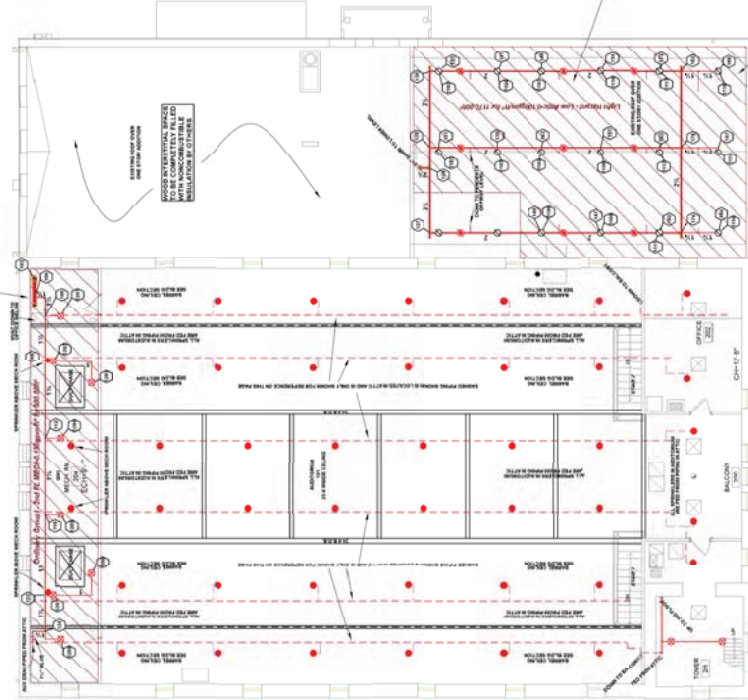


THIS DRAWING AND ANY REPRODUCTIONS ARE THE PROPERTY AND COPYRIGHT OF ENR/ARCHITECTS, INC. AND MAY NOT BE REPRODUCED, COPIED, OR IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS.

Copyright © 2017 ENR/ARCHITECTS, INC.

SEAL FLORIDA ARCHITECT CORPORATION
AUTHORIZATION NUMBER JAC001821


hydraulic information	
OCCUPANCY CLASSIFICATION	Ordinary Group I - 2nd Fl. MECH
DENSITY	0.15(gpm/sq ft for 800.00) (Actual 567.00)
TOTAL HOSE STREAMS	25.00
TOTAL HEAD FLOWING	8
N.F.ACTOR	5.6
TOTAL WATER REQUIRE	366.75
TOTAL PRESSURE REQUIRED	33.281
BASE OF RULER (gpm)	136.75
BASE OF RULER (psi)	25.00
SAFETY MARGIN (gpm)	+118.10 (25.2%)



THE ATTIC MUST BE MAINTAINED AT OR ABOVE 40° FOR THE INSTALLATION OF A WET FIRE SPRINKLER SYSTEM.

Hydraulic Information	
OCCUPANCY CLASSIFICATION	1 Light Hazard - Low Rise
DENSITY	1 Occupant/100 sq ft (Actual: 1183/7797)
TOTAL FLOOR AREA	52,000
TOTAL FLOOR SLIPSTREAMS	16
TOTAL HEADS FLOWING	16
K-FACTOR	1.6
TOTAL WATER REQUIRED	151.32
TOTAL PRESSURE REQUIRED	151.927
BASE OF Riser (gpm)	151.32
BASE OF Riser (psi)	10.604

2nd Floor



1/8"=1'-0"

0' 2' 4' 8' 12'

NORTH

HVAC DUCT UP THROUGH CHASE

MECH ROOM

HVAC DUCT CHASE
(TYPICAL EACH SIDE)

MECH ROOM BEHIND

CENTER FLAT CEILING

BARREL CEILING

SEE ALL NOTES ON PAGE FIRST & ARCHITECTURAL SHEET G400. THIS IS A
PARTIAL SECTION OF THE BUILDING. CONCEAL ALL PRINCIPAL SPRINKLERS (U.N.O.
SPECIFIC AREAS). ALL SPRINKLERS IN COMMON AREAS SHALL BE CONCEALED
TYPE PERMITS AND SIDEWALLS (U.N.O.). THESE DRAWINGS REPRESENT A
SPRINKLER & PIPES LAYOUT AFTER PERFORMING A SURVEY OF THE BUILDING.
SOME SLIGHT MODIFICATIONS WILL BE REQUIRED IN AREAS THAT COOPER
UNACCEPTABLE DURING THE SURVEY. ANY NEW SOFFIT OR CEILING
CONSTRUCTION SHALL BE INSTALLED PRIOR TO THE INSTALLATION OF THE
ALL CHANGES THROUGH THE CONTRACTOR PRIOR TO INSTALLATION.

SUBCONSULTANT FOR EMO ARCHITECTS

1011 P. 4. 1011 P. 4. 1011 P. 4.

WFLS design & consulting

South Florida Fire Sprinklers
1st Tiquary Drive
Miami, FL 33134

A VETERAN OWNED
SMALL BUSINESS

Journal of Management Inquiry 25(3)

Buy Whatfield CBT
CET #120949

VIEW AND/OR PRINT ALL FIRE PROTECTION PAGES IN COLOR FOR BEST RESULTS

EMO ARCHITECTS, INC.
1126 Thomsville Road
Tallahassee, Florida 32303-6272
Telephone: 850-222-8000
www.EMOCompanies.com

© 2017 INNOVATIONEFFECTS INC.
ALL RIGHTS RESERVED. NO PART OF THIS PUBLICATION MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM INNOVATIONEFFECTS INC. FOR MORE INFORMATION, VISIT US AT WWW.INNOVATIONEFFECTS.COM

FRANKLIN COUNTY COMMISSIONERS
BOARD OF COUNTY COMMISSIONERS
ALACHUA, FLORIDA

[illegible]

DESIGN CRITERIA
PACKAGE

**SECOND LEVEL
FIRE PROTECTION**

SHEET NO
F102

20 DECEMBER 2017

3RD LEVEL OF TOWER
STAIRS TO ROOF FINISH